

NOTICE

A meeting of the City of Evansville Plan Commission will be held on the date and time stated below. Notice is further given that members of the City Council and Historic Preservation Commission may be in attendance. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall at (608)-882-2266 with as much notice as possible.

City of Evansville **Plan Commission**
Regular Meeting
City Hall, 31 S Madison St., Evansville, WI 53536
Tuesday, June 6th, 2023, 6:00 pm

AGENDA

1. Call to Order
2. Roll Call
3. Motion to Approve Agenda
4. Motion to waive the reading of the minutes from the May 2nd, 2023 meeting and approve them as printed.
5. Civility Reminder
6. Citizen appearances other than agenda items listed
7. Action Items
 - A. Review and Action of Site Plan Application 2023-0068 on parcel 6-27-559.5170 (Sienna Crest Assisted Living)
 1. Review Staff Report and Applicant Comments
 2. Public Comment
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - B. Review and Action on Conditional Use Permit Application 2023-0098 and Review of Site Plan Application 2023-0097 on parcel 6-27-589 (Subway)
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - C. Review of Land Division Application 2023-0099 for a preliminary plat on parcel 6-27-930 (265 N Fourth Street)
 1. Staff Report and Applicant Comments
 2. Public Comment
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions

-Mayor Dianne Duggan, Plan Commission Chair

D. Review of Conditional Use Permit Application 2023-0130 for a Two-Family Residence on parcel 6-27-508.11 (Lot 11, South Gate Estates)

1. Staff Report and Applicant Comments
2. Public Hearing
3. Plan Commissioner Questions and Comments
4. Motion with Conditions

8. Discussion Items

9. Community Development Report

10. Upcoming Meetings

A. Thursday, July 6th, 2023 at 6:00pm

11. Motion to Adjourn

-Mayor Dianne Duggan, Plan Commission Chair

These minutes are not official until approved by the City of Evansville Plan Commission.

**City of Evansville Plan Commission
Regular Meeting
Tuesday, April 4th, 2023, 6:00 p.m.**

MINUTES

1. Call to Order at 6:00pm.

2. Roll Call:

Members	Present/Absent	Others Present
Mayor Dianne Duggan	P	Colette Spranger (Community Dev. Director)
Aldersperson Gene Lewis	P	Jason Sergeant (City Administrator)
Aldersperson Susan Becker	P	
Abbey Barnes	P	Jay Naatz, Nicole Naatz, Marty Hull,
John Gishnock	A	Emil/JoAnne Quast, Alvin Francis, Lisa James
Mike Scarmon	P	Ray Legris, Larry Meier, Jennifer Kraus,
Eric Klar	P	Roland/Deanna Jeans, Pat Galecki, Paula Strowski
		Sheri/Jim Ackley, Ken/Brenda Muth, Jon Roth
		Wanda Keniston, Jim Baldauf, Gail/Graham Carr,
		Kate/Bob Vredevelt, Dave Olsen, Joe Rohloff
		Randi Soldner, Kristi/Paul Jensen, Roger Berg,
		Joe Geoffrion, Derek Blume, Ryan Combs, Chris
		Vasallo, Sue/Dan White, Adam Dassow

3. Motion to approve the agenda, by Becker, seconded by Klar. Approved unanimously

4. Motion to waive the reading of the minutes from the April 4th, 2023 meeting and approve them as printed, by Becker, seconded by Klar. Approved unanimously.

5. Civility Reminder. Duggan noted the City's commitment to conducting meetings with cordiality.

6. Citizen appearances other than agenda items listed.

7. Action Items

A. Review and Action on Land Division Application 2023-0093 for a two-lot certified survey map on parcel 6-27-958.091A1 (777 Brown School Road)

- 1. Staff Report and Applicant Comments.** Applicant not in attendance. Spranger summarized the report. The request is to make two parcels, one for each building on the current lot. Spranger is requesting an extension of the shared driveway easement in addition to a joint cross access and maintenance agreement for the common access areas. Applicant has expressed willingness for both requests.

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2. **Public Hearing.** Mayor Duggan opened the public hearing at 6:07pm. No comments. Public hearing closed at 6:07pm.
3. **Plan Commissioner Questions and Comments.** None.
4. **Motion with Conditions.**

Motion for Common Council to approve the certified survey map for parcel 6-27-958.091A1, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:

- 1) **The ingress/egress easement is extended the full 183.11' length of shared property line on the side of proposed Lot 2.**
- 2) **Applicant submits a joint cross access and maintenance agreement prior to Common Council approval.**
- 3) **The final CSM and joint cross access and maintenance agreement is recorded with Rock County Register of Deeds.**

Motion by Becker, seconded by Klar. Approved unanimously

B. Review of Conditional Use Permit Application 2023-0100 for an Indoor Commercial Entertainment Use (The Opti-Mystic) on parcel 6-27-22 (18 W Main)

1. **Review Staff Report and Applicant Comments.** Spranger summarized the report, explaining that the use has been operating without a City-issue permit for a few years, having fallen through the cracks post COVID and staff turnover.
2. **Public Hearing.** Mayor Duggan opened the public hearing at 6:13pm. No comments. Public hearing closed at 6:13pm.
3. **Plan Commissioner Questions and Comments.** None.
4. **Motion with Conditions**

Motion to approve a Conditional Use Permit for Indoor Commercial Entertainment to operate a beverage shop per section 130-408 on parcel of land 6-27-22 located at 18 W Main Street, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:

- 1) **The business operator, now and in the future, shall comply with all provisions in the City's Zoning Code, as may be amended, related to sidewalk cafes. (Section 130-568).**
- 2) **Hours of operation shall be no earlier than 6am and no later than 10pm.**
- 3) **The business operator shall obtain and maintain all City, state, and county permits and licenses as may be required.**
- 4) **Any substantial changes to the business model shall require a review of the existing conditional use permit.**
- 5) **Any changes to signage, outdoor lighting, and/or building facade are subject to approval from the Historic Preservation Commission.**
- 6) **Use cannot create a public nuisance as defined by local and state law.**
- 7) **The Conditional Use Permit is recorded with the Rock County Register of Deeds.**

Motion by Becker, seconded by Klar. Approved unanimously

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C. Public Hearing for Land Division Application 2023-0099 for a preliminary plat on parcel 6-27-930 (265 N Fourth Street)

Spranger explained that an application has been made but is not yet ready for review by Plan Commission. The public hearing can be held independently of the review and action.

Mayor Duggan opened the public hearing at 6:17pm.

- Lisa James, 7841 N Fifth Street. Not necessarily against it but wanted to make sure that the value of the homes proposed to be built adds to that of the neighborhood. Would also be beneficial for trees to be added/preserved.
- Randi Soldner, 434 Joshua Drive. Wondered how many of the lots would be single family homes. Spranger replied that all the homes along Fifth Street would be single family. On Fourth Street, multifamily homes would be allowed. The future land use designation for that site is mixed use. City would expect that the density of units on that parcel would be around six units per acre.
- Ms. James then asked a question about if the multifamily units would be mandated to be owner occupied. Jason Sergeant, City Administrator, clarified that the application at hand only discusses the land division, not the use of what eventually is built on this land.
- Ms. Soldner asked about the old water tower and if that was going to be taken down. Sergeant explained that the water tower is a national landmark and is not part of the land division application.
- Ms. James voiced an opinion that six units per acre was a density unlike any of the other homes in the area. Is okay with single family units, but not a three story apartment unit.

Public hearing closed at 6:22pm.

D. Closed session: Motion that Plan Commission convene in closed session pursuant to Sec. 19.85(1)(e) of the Wis. Stats.: Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed. Upon completion, Plan Commission will reconvene in open session.

E. Discussion and Action on Amendment to “Final Land Divider’s Agreement” for Settler’s Grove Review

Co-applicants Roger Berg and Dave Olsen voiced their concern that they, two thirds of the development group responsible for the Land Divider’s Agreement for Settler’s Grove, were not ready for discussion nor action to be taken on the version of the amendment that Plan Commission had just discussed. Mayor Duggan agreed to rescind the discussion. No action taken.

F. Possible Action on Land Division Application 2023-0096 for a preliminary plat on parcel 6-20-218.B (Conifer Hills, Fourth Addition)

1. **Staff Report and Applicant Comments.** Spranger explained that the land falls within the City’s extraterritorial jurisdiction. Within that area, the City has rules about what kind of land divisions can be made. The purpose of this area is to preserve tracts of land that could potentially be annexed into the City and served by City utilities. Town of Union representatives have visited Plan Commission in the past to talk about the possibility of development in the extraterritorial area. If passed, this subdivision would be the first

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approved by the Town since 2007 when the third addition of Conifer Hills was approved. As the current application stands, it goes against standards of the City's Subdivision ordinance and the goals and policies of its Comprehensive Plan. Staff has tried to think of ways to approve the application in some fashion, knowing that this was of importance to the Town. One of the ways was to limit the amount of lots created. The other issue is that the City's Future Land Use Map identifies this area as Open Space and Conservation. This land use does not call for a prohibition on development, but that development should happen with care. To give an approval for lands planned as such, site specific analysis is requested to ensure compatibility. Soil maps and steep slopes indicate at least two factors that may be less than conducive to development. The Future Transportation Map also shows a linkage between County Road M and Territorial Road, which might not be an immediate improvement, but one that ought to be preserved 20 to 30 years in the future. Spranger explained that she had prepared for Plan Commission two possible motions to recommend to Common Council— one that provided a way for the applicant to move forward with the application while staying in compliance with City ordinances and the Comprehensive Plan; the other recommending denial of the application.

Applicant Dave Olsen noted that he was unwilling to adhere to the condition to reduce the number of lots from 17 to 7 if Plan Commission were to opt for that recommended motion.

2. Public Hearing. Mayor Duggan opened the public hearing at 6:55pm.

- Pat Galecki, 13323 W. Travis Trace, noted that prior additions of Conifer Hills included restrictive covenants and access to green space. There is concern that the amount of green space intended to remain after this plat keeps shifting to be less and less. Noted the application package did not indicate that there were covenants even though the application specifically asked for them.
- Jennifer Kraus, 7923 N. Bridle Sweet Drive. Chose to live in the Conifer Hills subdivision because of the unique nature of the homes, which were required to have varied floor plans by restrictive covenant. Worries about the effect new homes will have on the value of hers.
- Adam Dassow, attorney for the applicant, insinuated that denial of the plat would be similar to another in the state that was later overturned by the Wisconsin Supreme Court. He handed out copies of *Lake Delavan Prop. Co. v. City of Delavan* to the Plan Commission and staff.
- Brenda Muth, 13402 Travis Trace. Chuck and Delores Rohloff, the late owners of land predevelopment, personally approved the design of each home prior to construction. She is not sure who will be ensuring that the covenants will be honored with this new plat.
- JoAnne Quast, 7919 N. Territorial. Was told at a Town of Union meeting that there would be covenants with this next addition of the development. Was troubled there were none here tonight.
- Jim Ackley, 13224 Travis Trace. Voiced additional concerns about the lack of covenants.
- Deanna Jeans, 13344 W Forest Hollow Lane. Voice an opinion against a road being extended into the Morningridge Estates subdivision.

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- Emil Quast, 7919 N. Territorial. Noted that some home were given exceptions to the covenants. He had concerns about the density of houses being allowed on the proposed plat. He would not be in favor of rows of alike houses being built in this new plat.
- Ryan Combs, Combs and Associates, spoke up and acknowledge he submitted the application to the City without the covenants.
- Roland Jeans, 13344 W Forest Hollow Lane. Echoed a concerned about another access to Territorial Road, stating that there were already too many stop signs.
- Derek Blume, 14342 W Golf Air Drive. Voiced a plea for the Town and City to cooperate in matters of development and land division for the benefit of the community. In favor of housing in the Town because it helps the tax base.
- Kate Vredeveld, 7937 Territorial Road. Echoed concerns about the lack of covenants on the land.
- Spranger passed on comments from Kathy Wiedel, 13250 W Forest Hollow Lane, and Shari Rasmussen, 13409 Travis Trace, who echoed concerns about the lack of covenants associated with the application and the density of homes.

Public hearing closed at 7:14pm.

3. **Plan Commissioner Questions and Comments.** Duggan asked about the two possible motions. What would the Plan Commission need to do to decide between the two. Spranger and Sergeant replied that one Plan Commission member can chose to make either of the presented motions, or modify a motion, and another can second it. Then a vote could be taken.
4. **Possible Motion with Possible Conditions**

Motion by Becker, seconded by Lewis. Vote by roll call:

Lewis: Aye

Barnes: Aye

Scarmon: Aye

Duggan: Aye

Becker: Aye

Klar: Aye

Approved unanimously.

G. Review and Action on Conditional Use Permit Application 2023-0067 and Review of Site Plan Application 2023-0068 on parcel 6-27-559.5170 (Sienna Crest Assisted Living)

1. **Review Staff Report and Applicant Comments.** Spranger explained that typically conditional use permits and site plans are reviewed together. The applicant still needs to submit a landscape plan. The conditional use permit can still have its public hearing and get approval while staff awaits a landscape plan.
2. **Public Hearing.** Mayor Duggan opened the public hearing at 7:26pm.
 - Alvin Francis, 17266 County Road C, asked if the plans to widen Porter Road and replace the box culvert would interfere with these plans and if the site was in the floodplain. Reply was that the widening of Porter Road was happening just outside of this plan's boundary.

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- Derek Blume, Is there a traffic study associated with this use? Spranger replied that there was no traffic study required with this development. The park across the street will have much more traffic than the
- Jay Naatz, 379 S 7th Street, wondered about potential conflicts between this driveway and widening of Porter Road. It would narrow considerably after the box culvert with little in the way of safety.
- Jon Roth, 391 S 7th Street. Asked if there would be another meeting to discuss the site plan. Affirmative.

Public hearing closed at 7:30pm.

3. Plan Commissioner Questions and Comments.

4. Motion with Conditions

Motion to approve a Conditional Use Permit for an Institutional Residential Use to operate an assisted living facility per section 130-376 on parcel 6-27-559.5170 finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:

1) The business operator shall obtain and maintain all City, state, and county permits and licenses as may be required.

2) Any substantial changes to the business model shall require a review of the existing conditional use permit.

3) Use cannot create a public nuisance as defined by local and state law.

4) Plan Commission approves Site Plan Application 2023-0068.

5) The Conditional Use Permit is recorded with the Rock County Register of Deeds.

Motion by Becker, seconded by Klar. Approved unanimously

H. Public Hearing for Ordinance 2023-03, Amending Chapter 130, Article IV Landscaping Regulations.

Mayor Duggan opened the public hearing at 7:32pm. Roger Berg asked for a copy of the regulations. Spranger stated that the changes will allow larger users requiring lots of landscaping to transfer their points elsewhere on City public spaces. Public hearing closed at 7:33pm.

8. Discussion Items.

9. Community Development Report

10. Next Meeting Date:

- A. May 2nd, 2023 at 6:00 p.m.

11. Motion to Adjourn by Becker, seconded by Scarmon. Approved unanimously.



SITE PLAN APPLICATION – STAFF REPORT FOR PLAN COMMISSION

Applicant: Sienna Crest Assisted Living

Parcel 6-27- 559.5170

Location: 725/727 Porter Road

June 1, 2023

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: colette.spranger@ci.evansville.wi.gov or 608-882-2263

Description of request: The applicant is seeking approval of new construction that will include two buildings upon completion. The applicant intends to build in stages. The first building anticipated is an assisted living facility with 20 beds; the second will have 20 beds devoted to residents requiring memory care. These facilities will be licensed by the Wisconsin Department of Health Services as a Ch. 83 CAN-rated (non-ambulatory) Community Based Residential Facility. The property is zoned B-3 Community Business and is currently undeveloped.

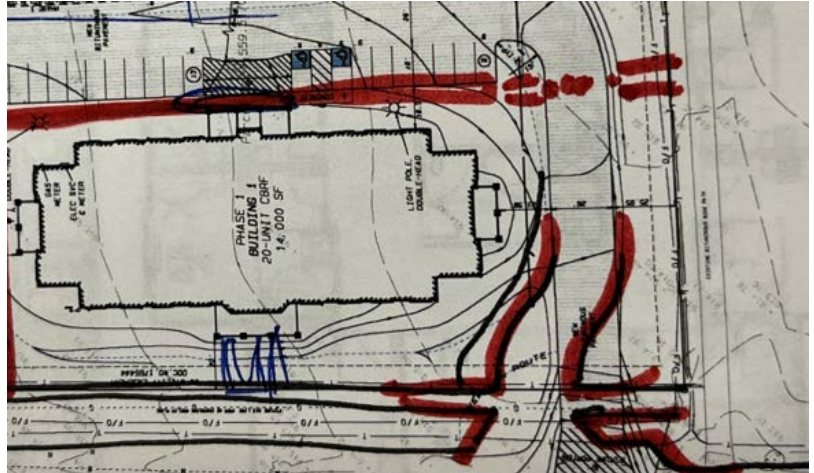
The site plan and building plan has already ready received approval from the state Department of Safety and Professional Services

Plan Commission granted a Conditional Use Permit for Institutional Residential Uses on this site at its May regular meeting.

Staff Analysis of Request: The proposal meets the standards outlined in the Zoning Ordinances, including those for Institutional Residential Uses. Staff would like to comment on the following:

- **Addressing:** Addresses are officially assigned when the building permit is issued. That said, the first building along Porter Road will be assigned 725 Porter Road. The second building will be assigned 727 Porter Road.
- **Landscaping.** Per Article IV of the City's zoning ordinance, this site requires 2,195 landscape points. The landscape plan as presented exceeds this requirement. The plant varieties planned adjacent to 725 Porter Road provides a good visual appearance from the West Side Park entrance across the street. Staff have received several comments from neighbors who have concerns about the impact the facility will have on the appearance and character of the existing neighborhood. A berm that currently exists between the subject parcel and lots along South Seventh Street will be kept and planed with Norway Spruce, Marmo Maple, Red Oak, and Shademaster Honeylocust trees. Once grown, these will provide ample screening of the buildings from the rest of the neighborhood.

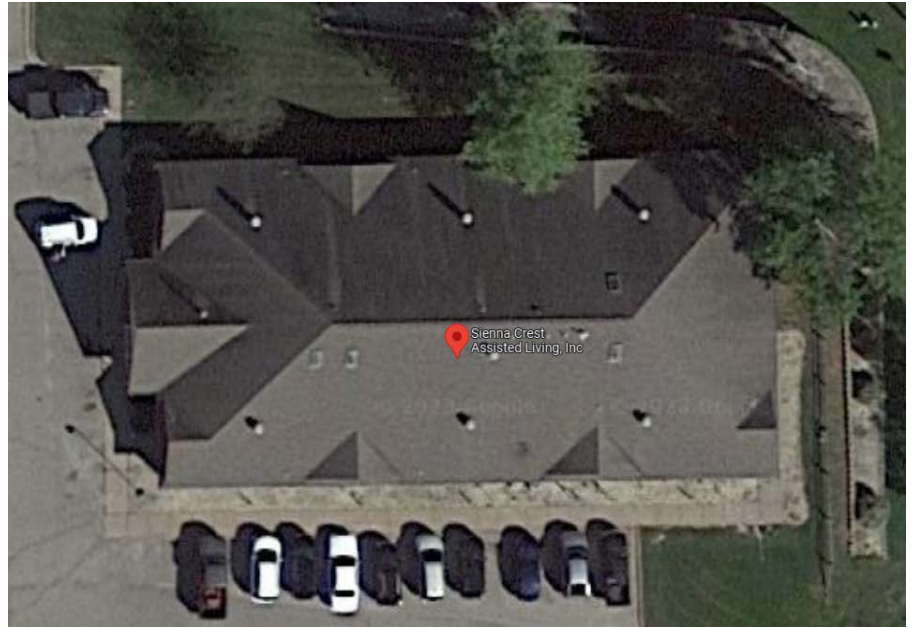
- **Driveway adjustment.** The driveway apron as presented on this site plan is about 25 feet away from the entrance to the highly-used multiuse path that runs parallel just west of the site. Staff and neighbor have expressed concerns about the potential for visitors to the site to confuse the path with the driveway. The adjustment preferred by City staff would be to curve the driveway approach slightly away from the path



Staff suggested adjustment to driveway approach.

- entrance by about 20-30 feet, and to include a directional sign pointing road users toward the correct driveway. A directional sign on its own may be sufficient. If the site plan is approved with the driveway as presented and there are observable conflicts in the future, it could be interpreted as a nuisance or a threat to public safety. The City could ask the applicant to adjust the driveway at that time. Making the fix now could prevent this issue. Alternatively: curbing the driveway along the entrance would also differentiate between the driveway and the multiuse path.
- **Stormwater conveyances.** A stormwater pond is planned on the parcel to the south, which is also owned by the applicant and may develop at a later date. Technically, this means the stormwater shed by the development is not being handled on site, which the City is not in the habit of allowing. However, the City Engineer did not find an issue with the pond as presented and suggested a drainage easement as a way to establish this parcel's right to use the adjacent site's stormwater pond in perpetuity, regardless of ownership.
- **Public Sidewalk.** Staff has been made aware the applicant is responsible for installing sidewalk in this location. The building inspector will require this to be completed prior to an occupancy permit being issued.
- **On site pedestrian connections.** Evansville prides itself on its walkability and endeavors to improve pedestrian access throughout the City. When reviewing site plans throughout the City, staff and Plan Commission have been insistent on creating connections for people to walk safely and efficiently within any site, newly built or redeveloped. Staff initially suggested the addition of connection paths on the site from the front door to the public sidewalk and from the nearby multiuse path to the driveway/parking lot area, The applicant is lukewarm on these ideas, stating that the lack of pedestrian access is intentional to ensure resident safety. The lack of curbed walkways adjacent to the parking lot is also intentional, so as to prevent a tripping hazard. Staff are requesting that in the very least, a walkway be connected from the public sidewalk to an entrance for 725 Porter Road.

- **Parking lot connections.** Staff suggest extending walkways along the parking areas to the building entrances, similar to the Sienna Crest site that is in Platteville. (See right.) Presently, people would need to walk through the parking lot to access the main entrances of either building. These walkways needn't be curbed.



Sienna Crest site in Platteville with pedestrian walkways adjacent to the parking spaces.

- **Impact on health and safety surfaces:**

Throughout the review process, several residents and some committee members expressed concern on the impact a facility such as this would have on certain City services. The fire inspector, EMS chief, and police chief all reviewed the site plan and voiced no major concerns. None felt that the addition of this facility would result in additional strain on their resources or create an adverse impact on their ability to serve the community. The fire inspector did suggest an automatic fire alarm system as opposed to a manual one, pointing out that staff would be focused on evacuating residents in an emergency. Once triggered, an automatic alarm system would place a call to 911 without staff having to call.

Required Plan Commission findings for Conditional Use Permit request: Section 130-104 (3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. **Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of September 2022.
Staff Comment: The Comprehensive plan indicates this area be used for mixed/residential uses and a desire to create aesthetically appealing and welcoming entry corridors into the city. This proposal achieves all of the applicable goals.
2. **Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.
Staff comment: The proposed construction is consistent with the City's zoning code and other plans, programs, and ordinances.
3. **Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters

affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.

Staff Comment: No adverse effect is anticipated on nearby property. The materials, scale, and character of the proposed buildings blend well with the neighborhood. Staff does recommend a revision to the driveway location to avoid conflict with users along the nearby trail.

4. **Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Comment: Housing for those requiring assisted living and memory care is appropriate in the B-3 zoning district; the applicant already has a conditional use permit for institutional residential use and meets the additional requirements for that use within the B-3 zoning district.

5. **Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.

Staff Comment: Water and sewer are available at the site. Porter Road is currently being improved in this location. Per City policy, no building permit can be issued for development until curb and gutter is in place. The fire inspector, EMS chief, and police chief have all reviewed the site plan and have no major concerns.

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the site plan do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

Staff recommended motion: *The Plan Commission approves the site plan that includes improvements as presented on parcel 6-27-559.5170, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:*

1. *Driveway location revised or curbed to avoid conflict with trail users.*
2. *Pedestrian walkway internal to site added to connect building entrances with public sidewalk per City Staff/Engineer approvals.*
3. *Pedestrian walkway to be extended entire length of parking areas; may be flush with pavement.*
4. *Stone veneer added to west and east wings on 725 Porter Road building.*
5. *Any variation from presented plans are approved by Plan Commission.*
6. *Any exterior lighting should be dark sky friendly and not cause glare or light-wash on neighboring parcels.*

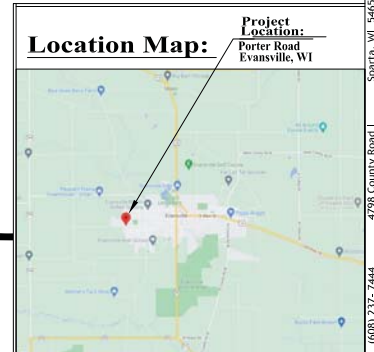
Sienna Crest CBRF

New Class CNA CBRF Facility
 Porter Road
 Evansville, WI
CD Set
 March 06, 2023



GENERAL NOTES AND SPECIFICATIONS

1. The mechanical systems design are not a part of these plans.
2. All work performed to meet all state and local building codes. Contact the architect with any field-discovered discrepancies.
3. The general contractor is to field verify all existing conditions and dimensions.
4. VERIFY IN FIELD locations of all property lines adjacent to new construction
5. Accessible parking stalls are available on-site immediately outside the front entrance.
6. The building is Type VA construction.



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S3.0	Framing Plan / Details
S4.0	Braced Wall Plan / Details

Architect:
 CASHMAN ASSOCIATES, Inc.
 Gregory M. Cashman, AIA
 4798 County HWY I Sparta, WI 54656
 Ph: (608) 237-7443 Fax: (608) 237-7444
 gcashman@cashman.net

Architect Stamp:

Project General Notes:

1. CODE COMPLIANCE: ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
2. PERMITS: CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/OR LICENSES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
3. COORDINATION: ALL SUBCONTRACTORS SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR. FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE, ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
4. FIELD VERIFICATION: ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
5. DEMOLITION: CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
6. PENETRATIONS: ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
7. FINISHES: CONTRACTOR SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS. ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/OR ROOF DECK. ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
8. HAZARDOUS MATERIALS: ANY HAZARDOUS MATERIALS DISCOVERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
9. DO NOT SCALE DRAWINGS: IN ALL CASES, NOTES, DIMENSIONS AND/ OR NOTES INDICATING DIMENSIONS OR SIZES SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
10. DIMENSIONS: ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUND-FRAMED STUD WALL TO FACE OF ROUND-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

CASHMAN ASSOCIATES, Inc. PH: (608) 237-7443 FAX: (608) 237-7444 4798 County Road 1 Sparta, WI 54656 PROJECT: Sienna Crest CBRF New Class CNA CBRF Facility Porter Road Evansville, WI 53538 SHEET NO. 001 OF 001 SHEET TITLE: Title Sheet

NO.	TITLE	DATE

PROJECT OWNER: gcashman@cashman.net
 Sienna Crest CBRF Facility
 845 Market Street
 Oregon, WI 53575

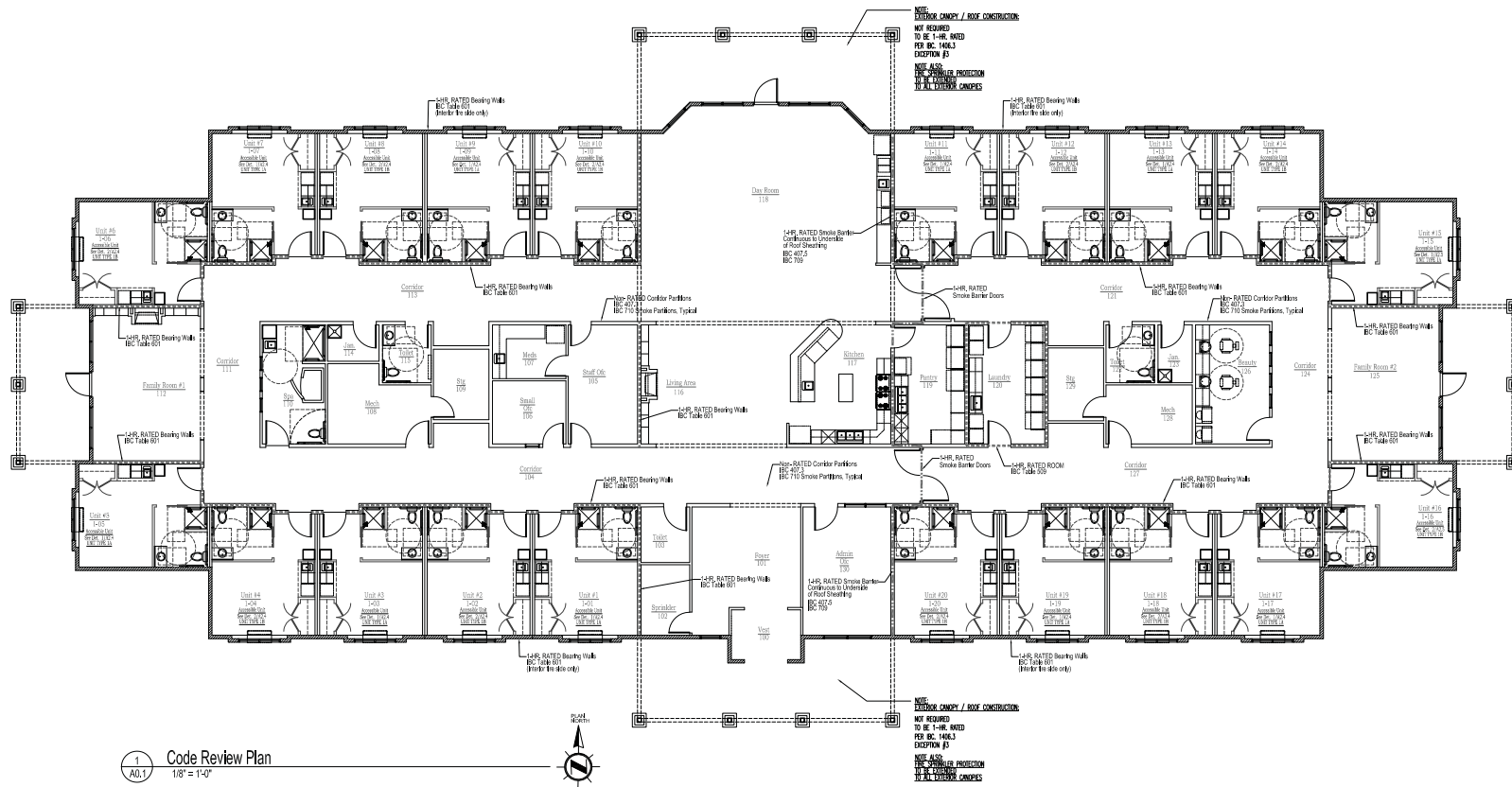
PROJECT ARCHITECT: Gregory M. Cashman, AIA
 4798 County Road 1
 Sparta, WI 54656
 Ph: (608) 237-7443
 Fax: (608) 237-7444
 gcashman@cashman.net

DATE: March 06, 2023

PROJECT: Sienna Crest CBRF New Class CNA CBRF Facility Porter Road Evansville, WI 53538

GEC
 General Engineering Company
 1000 North Lincoln Street
 Evansville, WI 53120
 Phone: (815) 866-1111
 Fax: (815) 866-1112

A0.0



1 Code Review Plan
1/8" = 1'-0"

Project Code Information:

DESCRIPTION:

New I-2 (CBRF) Facility
WI Dept. of Health Services (DHS) Ch. 83-Community-Based Residential Facilities
DHS 83.04 (2)(f) Class C non-ambulatory (CNA)
NFPA 13 Sprinklered Construction

APPLICABLE CODES:

- State of Wisconsin Department of Safety and Professional Services
Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Existing Buildings Code and SPS 366
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35
- 4910.1 Minimum Property Standards for Housing
- Fair Housing Act
- ADA Title III

OCCUPANCY CLASSIFICATION: IBC Section 308

IBC Section 308.4.1.1 Occupancy I-2 Condition 1: Institutional I-2:

Building Gross SF Areas:

Building Level	Building GSF I-2 Occupancy	Building Canopies GSF	Total GSF
First Floor	13,984 gsf	1,291 gsf	15,275 gsf

Building Height: IBC Section 504.3
±24'-10" (from main level to ridge) (50'-0" Allowable)

No. of Levels: One IBC Section 504.4
No. of Stories: One One-Story Allowed

Construction Type:
- Type VA- Wood Frame Protected - 1-Hr. Construction IBC Section 601

Struct. Frame	Bearing Walls Ext.	Bearing Walls Int.	Non-Bearing Ext.	Non-Bearing Int.	Floor Const.	Roof Const.
1-hr.	1-hr.	1-hr.	0-hr.	0-hr.	1-hr.	1-hr.

OCCUPANCY SEPARATION: None
Single-Occupancy- One-Story Building IBC 506.2.1

ALLOWABLE BUILDING HEIGHTS AND AREAS: IBC Chapter 5- Table 506.2

- A₁ (Allowable tabular area per floor) = 38,000 sf
- 38,000 sf Allowable Area > 15,275 gsf Building Fire Area

SPECIAL PROVISIONS:

IBC Chapter 4
IBC 407.3: IBC 710: Corridors Shall be non-rated Smoke Partitions*
*Note: Corridor (Bearing) Walls per IBC 601 are 1-hr. Construction
IBC 407.3.1: Corridor Doors Shall be non-rated w/ positive latch hardware.
IBC 407.5: IBC 709: Smoke Barrier: One, 1-hr. Smoke Barrier is required
IBC 407.5.1: Smoke Barrier Refuge Areas: Required on both sides of Smoke Barrier
DHS 83.51 (1) Area of Refuge
IBC 407.8: Automatic Sprinkler System Required per IBC 903.3.1.1
IBC 407.7: Fire Alarm System Required per IBC 907.2.6
IBC 407.8: Automatic Fire Detection: Corridors and Spaces open to Corridors must be equipped with Automatic Fire Detection IBC 903.2.6 (See also exceptions in this section)
DHS 83.60 Windows (1) - Minimum Daylight size equals 8% of resident room floor area
- Minimum Ventilation size equals 4% of resident room floor area

FIRE PROTECTION:

NFPA 13R- COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM
IBC 903.2.6-Exception 1: IBC 903.3.1.2 NFPA 13R system allowed
NFPA 72- Complete Manual Fire Alarm System- IBC 907.2.6.
Entire Building and Complete Automatic Fire Detection System- per IBC 907.2.6.
Entire Building
NFPA 72- Smoke Detection System- per IBC 907.2.6.2
DHS 83.48 (1) Interconnected smoke and Heat Detection System Required
Roof / Ceiling Assembly - 1-hr. Rated Construction
IBC 718.4.3 : Draftstopping In attic required- NFPA 13R Sprinkler System

Interior Finish Flame Spread Rating-

Class B Finish- Interior Wall and Ceiling finishes per IBC Table 803.11
Class II Finishes- Interior Floors allowed per IBC Table 804.4.2

IBC Sec. 1004- Occupant Load:

See Code Review Plan for square footages and Occupant Load
IBC Sec. 2902.1: Plumbing Fixtures:

- (I-2) Resident Rooms: (1) Lavatory & (1) Water Closet per room Required / Provided
- (I-2) Resident Rooms: (1) Bath/Shower per 15 Rooms Required/ Provided
- Employees / Visitors: (1) Unisex Toilet Room Required- (3) Provided

C.A.S.H.M.A.N. A.S.O.C.I.A.T.E.S., I.N.C. PROJECT: Sienna Crest CBRF New Class CNA CBRF Facility
 SHEET: A0.1
 PH: (608) 237-7443 FAX: (608) 237-7444 4798 County Road I Sports, WI 54656
 PROJECT OWNER: Spina One (Asst) Utility 845 Haled Street Oregon, WI 53075
 ARCHITECT: GEC General Engineering Company
 DATE: March, 2023
 GREGORY M. CASHMAN, AIA
 REVISIONS
 NO. TITLE DATE
 1

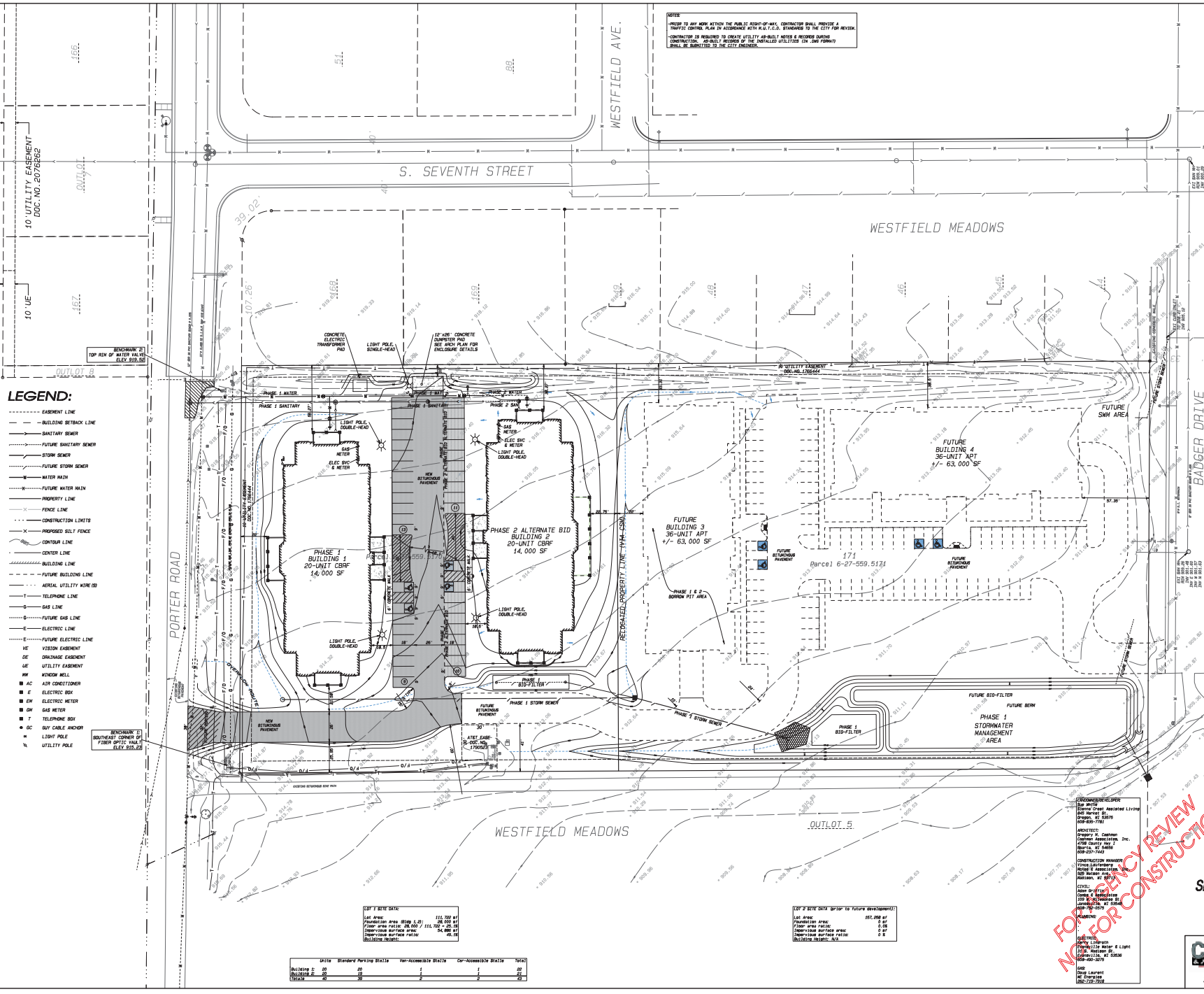
To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin
CALL DIGGERS HOTLINE
 1-800-242-8511
 Wis Statute 192.0175 (1974)
 Requires Min. 3 Work Days
 Notice Before You Excavate

NOTES:
 -BIDDY TO ANY WORK OTHER THAN THE PUBLIC REPORT OF WORK CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION PLAN TO ACCORDANCE WITH W.S. C.S. 192.0175, SUBMITTED TO THE CITY FOR REVIEW.
 -CONTRACTOR IS REQUIRED TO OBTAIN UTILITY AS-BUILT NOTES & RECORD DRAWING CONSTRUCTION. RECENTLY PROVIDED BY THE INSTALLED UTILITIES (OR OWNERS) SHALL BE SUBMITTED TO THE CITY ENGINEER.



INDEX OF SHEETS
 C100 DIMENSION PLAN
 C200 GENERAL NOTES & DETAILS
 C201 DETAILS
 C300 UTILITY, GRADING, & DRAINAGE PLAN (PH 1 NORTH)
 C301 UTILITY, GRADING, & DRAINAGE PLAN (PH 1 SOUTH)
 C302 UTILITY, GRADING, & DRAINAGE PLAN (PH 2 SOUTH)
 C303 STORM WATER MANAGEMENT PLAN
 C400 EROSION CONTROL PLAN
 C401 ECP NOTES AND DETAILS

- LEGEND:**
- EASEMENT LINE
 - BUILDING SETBACK LINE
 - SANITARY SEWER
 - FUTURE SANITARY SEWER
 - STORM SEWER
 - FUTURE STORM SEWER
 - WATER MAIN
 - FUTURE WATER MAIN
 - PROPERTY LINE
 - FENCE LINE
 - CONSTRUCTION LIMITS
 - PROPOSED SILT FENCE
 - CONTOUR LINE
 - CENTER LINE
 - BUILDING LINE
 - FUTURE BUILDING LINE
 - AERIAL UTILITY WIRE (D)
 - TELEPHONE LINE
 - GAS LINE
 - FUTURE GAS LINE
 - ELECTRIC LINE
 - FUTURE ELECTRIC LINE
 - VISION EASEMENT
 - DRAINAGE EASEMENT
 - UTILITY EASEMENT
 - KENNEL WELL
 - AC AIR CONDITIONER
 - E ELECTRIC BOX
 - EW ELECTRIC METER
 - GW GAS METER
 - T TELEPHONE BOX
 - AC AIR CABLE ANCHOR
 - LIGHT POLE
 - UTILITY POLE



UNIT	STORMWATER PAVING	NON-ACCESSIBLE GRADE	CV-ACCESSIBLE GRADE	TOTAL
Building Area	20	20	20	60
Driveway	20	20	20	60
Other	20	20	20	60

EXIST'G SITE DATA (prior to future development):

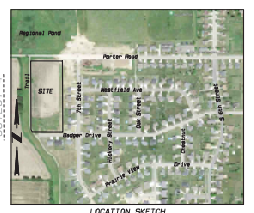
Lot Area	857,000 SF
Foundation Area	0 SF
Floor Area	0 SF
Impervious Surface Area	0 SF
Permeable Surface Area	0 SF
Water Storage Capacity	0 SF
Other	0 SF

EXIST'G SITE DATA:

Lot Area	111,000 SF
Foundation Area	28,000 SF
Floor Area	28,000 SF
Impervious Surface Area	54,000 SF
Permeable Surface Area	0 SF
Water Storage Capacity	0 SF
Other	0 SF

FOR AGENCY REVIEW
NOT FOR CONSTRUCTION

SEAL
 ADAM F. GRIFFIN PE
 WI. REG. # 36640-006
 EXP. DATE 07/31/2024
 COVER SHEET C100 (18x11) C100

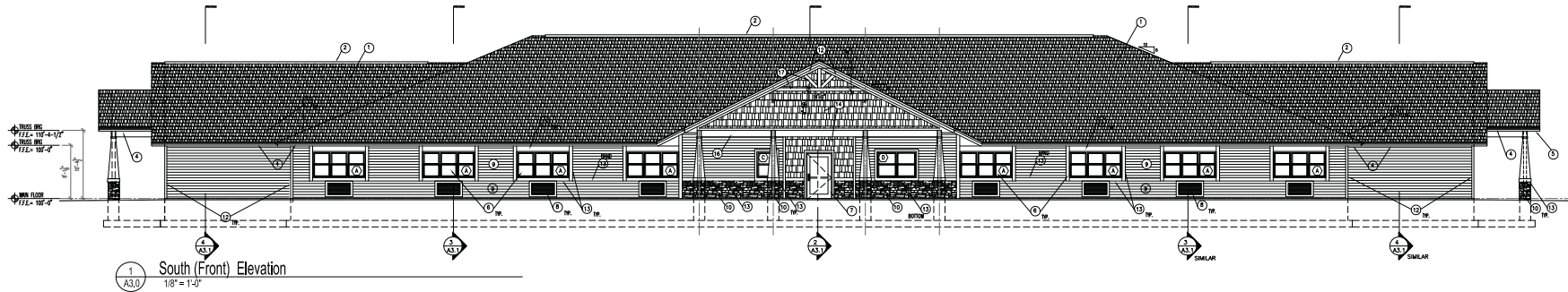


CONSTRUCTION PLANS FOR SIENNA CREST ASSISTED LIVING INC.

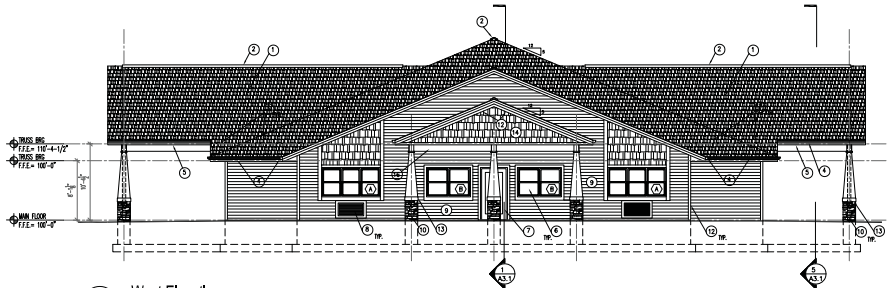
LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 SECTION 18, T.4N., R.10E. OF THE 4TH P.M.
 CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.

Combs ASSOCIATED	LAND SURVEYED	DATE	03/02/23
	LAND PLANNED BY	DATE	AFG
	CIVIL ENGINEERING	DATE	
	AWARDED	DATE	
100 W. Wisconsin St. Evansville, WI 53536 www.combsassoc.com	TEL: 608-752-5370 FAX: 608-752-5354	PROJECT NO.	22-566

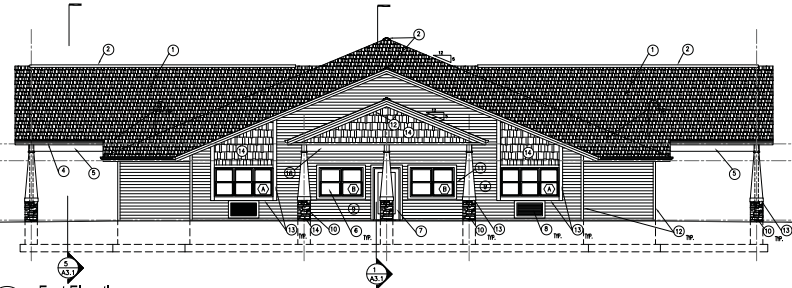
DIMENSION PLAN C100



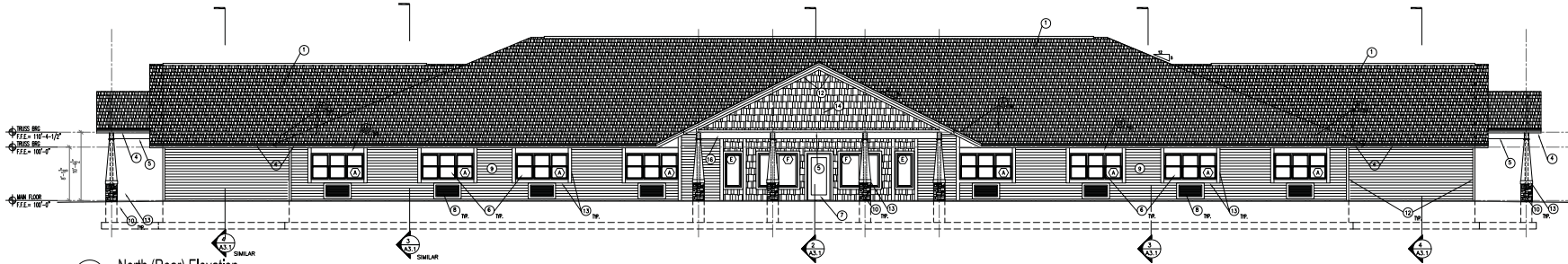
1 South (Front) Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"



3 East Elevation
1/8" = 1'-0"



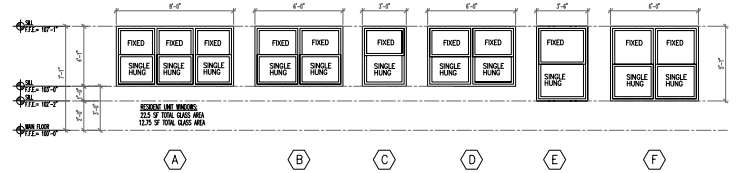
4 North (Rear) Elevation
1/8" = 1'-0"

**Keyed Notes-
Exterior Elevations** SHF. A3.0

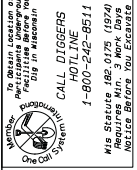
- ① FIBERGLASS, ARCHITECTURAL, SHADOW LINE 30 YEAR SHINGLE
- ② RIDGE VENTS, TYPICAL
- ③ INSTALL ICE & WATER SHIELD-4" W/TH FROM D-EDGE UP 4"-0" CONTINUOUS BLDG PERIMETER. PAINTED METAL SUTTER @ DOWNSPOUT BY VENTED SOFFIT. CONNECT DOWNSPOUT TO STORM PIPING SYSTEM, TYP.
- ④ NON-VENTED METAL SOFFIT (UNDER CANOPY)
- ⑤ EXTERIOR WINDOWS, TYPICAL - SEE SCHEDULE- 5/ A3.0
- ⑥ ALUMINUM ENTRANCE SYSTEM- SEE DOOR SCHEDULE
- ⑦ DECORATIVE, PAINTED METAL AIR CONDITIONER VENT COVER. SIZE BY CONTRACTOR- BASED UPON UNIT FREQ UNIT.
- ⑧ 0.44 MIN THICKNESS DOUBLE-5" VINYL SIDING
- ⑨ STONE VENEER- SEE DETAIL
- ⑩ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 3.5" TRIM BOARD CEAN TEXTURE FINISH
- ⑪ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 5.5" TRIM BOARD CEAN TEXTURE FINISH
- ⑫ UP "SMART-SIDE" 1000-DRAIN CEAN TEXTURE SHIMES
- ⑬ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 9.12" TRIM BOARD CEAN TEXTURE FINISH
- ⑭ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 11.21" TRIM BOARD CEAN TEXTURE FINISH
- ⑮ WOOD-FRAMED DECORATIVE CABLE BRACKET- W/OP R/ "SMART-SIDE" TRIM

Exterior Window Notes

1. ALL FRAMES- VINYL. FRAME WINDOW UNITS- 0.30 U-VALUE
2. OPERABLE WINDOWS- WHERE INDICATED ON DETAIL: ALUMINUM BUG SCREEN- INTERIOR SIDE OF OPERABLE SINGLE-HUNG STYLE UNITS
3. GLAZING, TYPICAL: 1" NOMINAL, INSULATED LOW E, ARGON-GAS FILLED, CLEAR GLASS SHADING COEFFICIENT: 0.37 +/- PROVIDE SAFETY GLASS WHERE REQUIRED
4. WINDOW DIMENSIONS ARE NOMINAL AND APPROXIMATE. VERIFY ALL WINDOW SIZES IN FIELD FOR EXACT R.O.D DIMENSIONS



5 Exterior Window Types
1/4" = 1'-0"



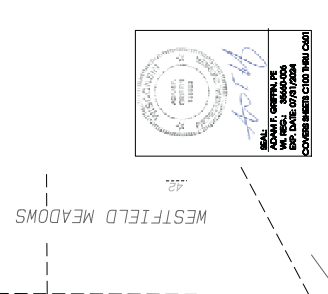
TO OBTAIN LOCATIONS OF ALL UTILITIES UNDERGROUND IN THIS AREA, CONTACT THE CITY OF WESTFIELD AT 1-800-242-9511 OR 414-255-3100. NOTICE BEFORE YOU EXCAVATE.

CALL DIGGERS
HOTLINE
1-800-242-9511

Mid-States, Inc. 8178 (10/10)
Requires Min. 3 Work Days
Notice Before You Excavate

INDEX OF SHEETS

- C100 DIMENSION PLAN
- C101 GENERAL NOTES & DETAILS
- C102 UTILITY, GRADING & DRAINAGE PLAN (PH 1 NORTH)
- C103 UTILITY, GRADING & DRAINAGE PLAN (PH 1 SOUTH)
- C104 UTILITY, GRADING & DRAINAGE PLAN (PH 2 NORTH)
- C105 UTILITY, GRADING & DRAINAGE PLAN (PH 2 SOUTH)
- C106 STORM WATER MANAGEMENT PLAN
- C107 STORM CONTROL PLAN
- C108 ECP NOTES AND DETAILS



CONSTRUCTION PLANS
FOR
SIENNA CREST ASSISTED LIVING INC.

LOTS 10 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
CITY OF WESTFIELD, ROCK COUNTY, WISCONSIN

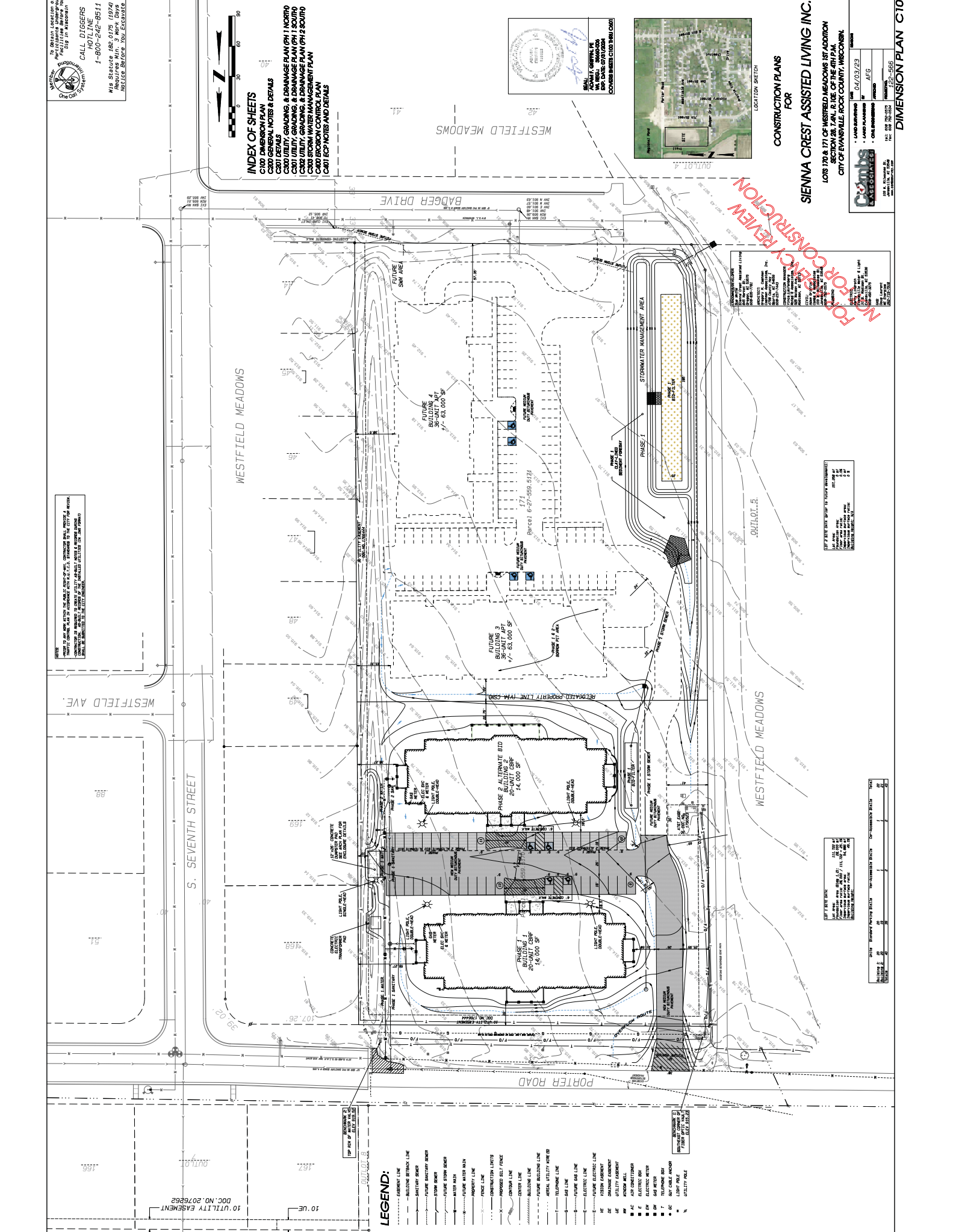
Crest Resources

1. LAND SURVEYING 04/03/23
2. LAND PLANNING AFG
3. CIVIL ENGINEERING AFG

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

NOT FOR CONSTRUCTION

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]



NOTE: THE CITY ENGINEER HAS REVIEWED THESE PLANS FOR CONFORMANCE WITH THE CITY OF WESTFIELD'S SUBDIVISION MAP ACT. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE RESPONSIBLE FOR THE CITY ENGINEER'S REVIEW.

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

LEGEND:

- EASEMENT LINE
- - - - - BUILDING SETBACK LINE
- - - - - BUILDING FOOTPRINT
- - - - - FUTURE BULKHEAD SHED
- - - - - FUTURE BULKHEAD SHED
- - - - - FUTURE STORM AREA
- - - - - FUTURE STORM AREA
- - - - - FUTURE WATER MAIN
- - - - - PROPERTY LINE
- - - - - FENCE LINE
- - - - - PROPOSED BELT FRONT
- - - - - CONTROL LINE
- - - - - BUILDING LINE
- - - - - AERIAL UTILITY WATER
- - - - - GAS LINE
- - - - - FUTURE GAS LINE
- - - - - ELECTRIC LINE
- - - - - FUTURE ELECTRIC LINE
- - - - - DRIVEWAY EASEMENT
- - - - - UTILITY EASEMENT
- - - - - FUTURE WELL
- - - - - FUTURE STORM
- - - - - GAS METER
- - - - - GAS METER
- - - - - TELEPHONE BOX
- - - - - LIGHT POLE
- - - - - UTILITY POLE

10' UTILITY EASEMENT
DOC. NO. 207862
10' VE

DATE: 04/03/23

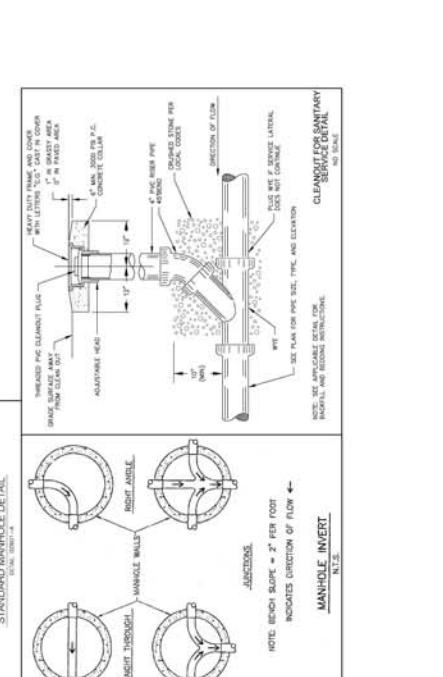
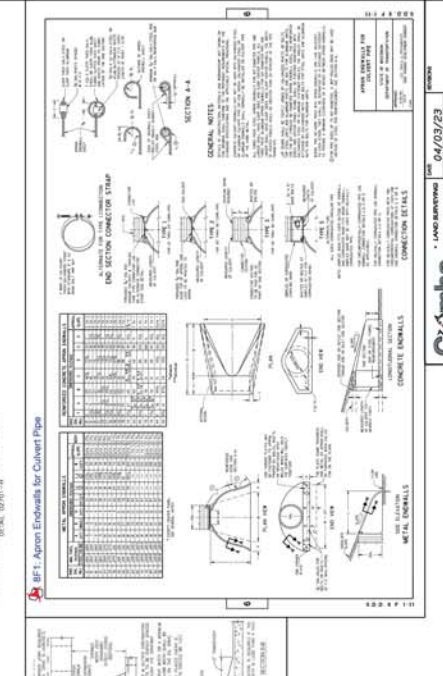
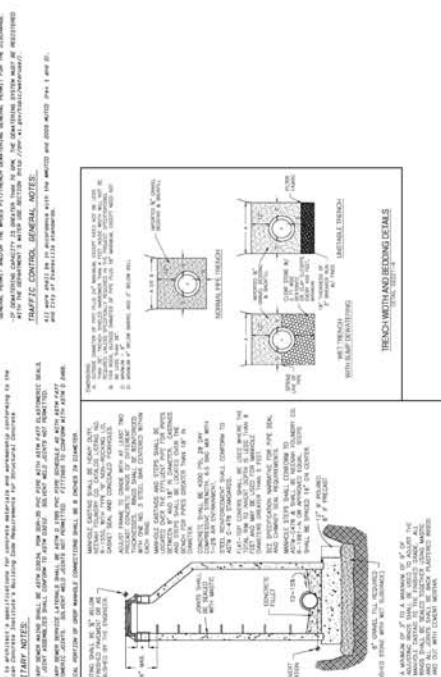
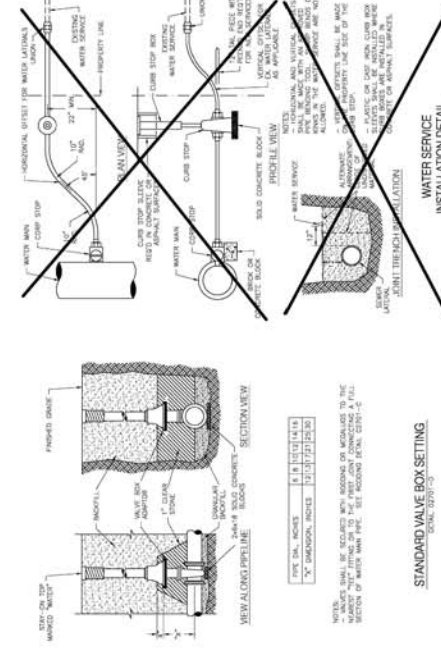
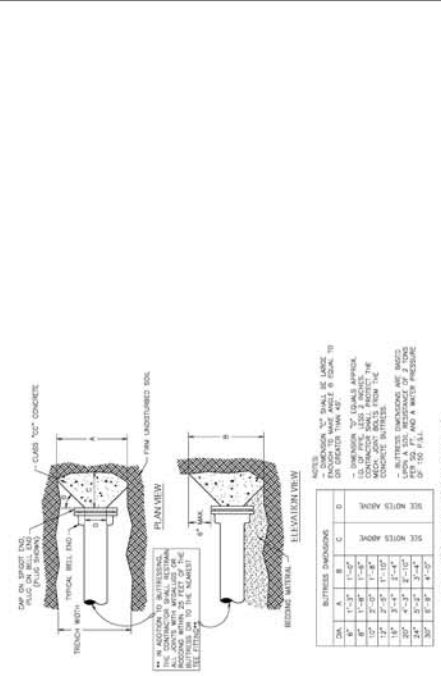
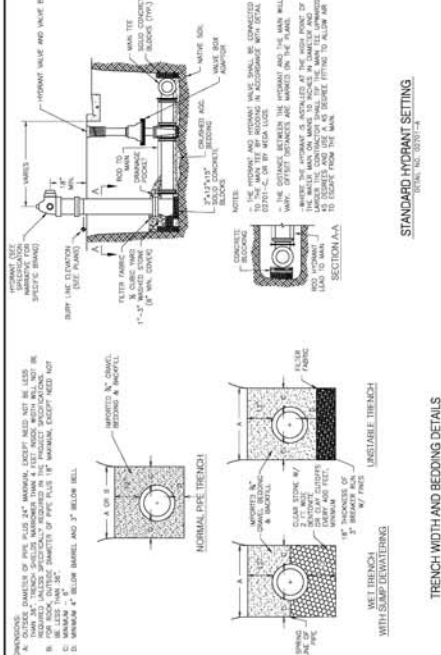
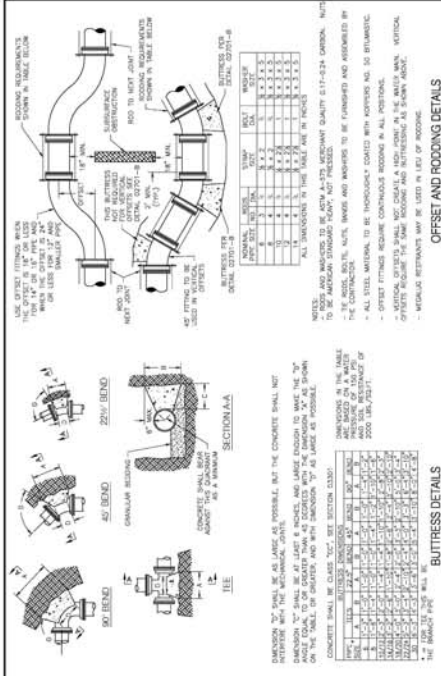
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CHECKED: [Name]
APPROVED: [Name]

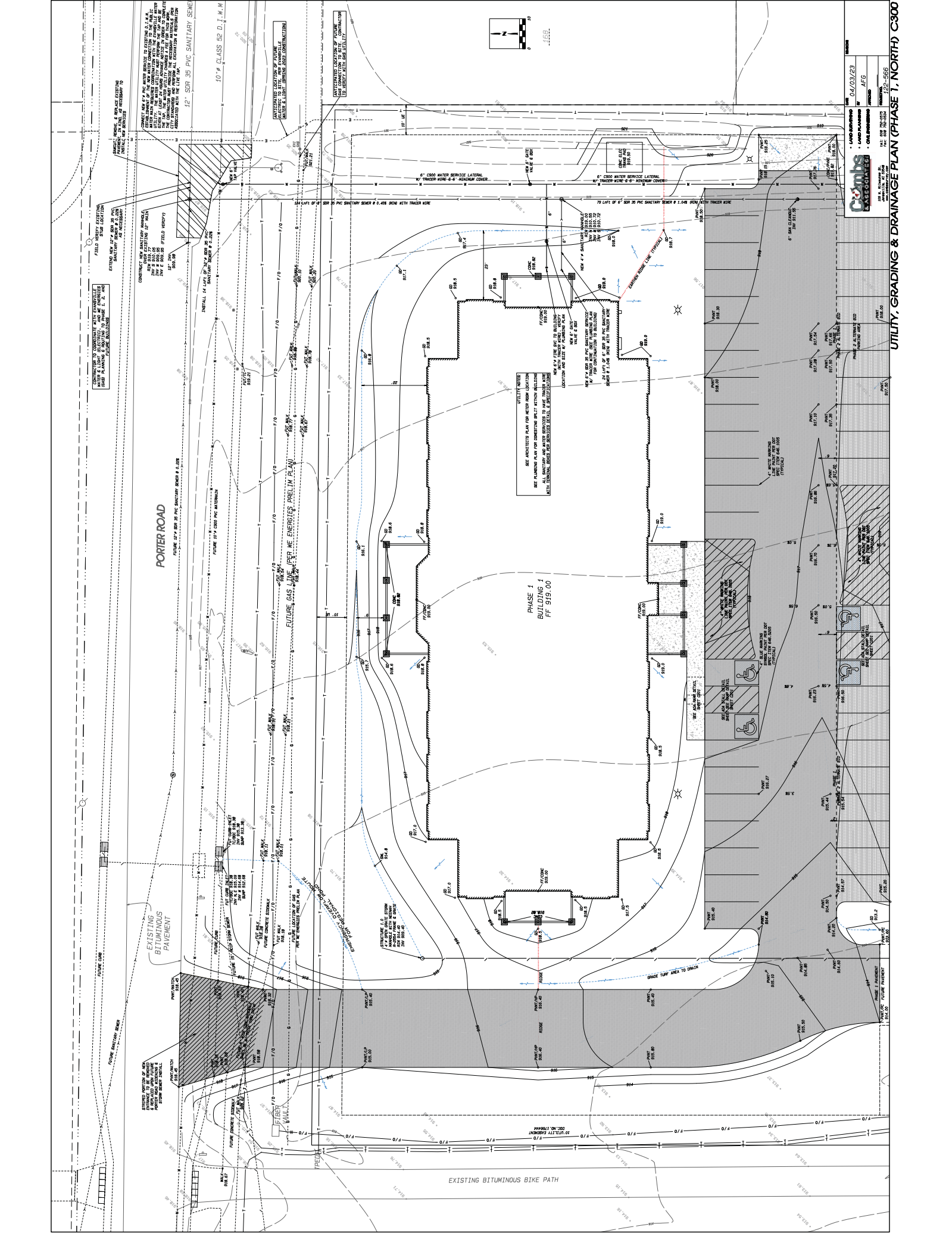
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CHECKED: [Name]
APPROVED: [Name]

DATE: 04/03/23

DATE: 04/03/23
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]





PORTER ROAD

**PHASE 1
BUILDING 1
FF 919.00**

CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND DEPTHS WITH A LITHIUM BATTERY LOCATOR AND/OR GPR. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

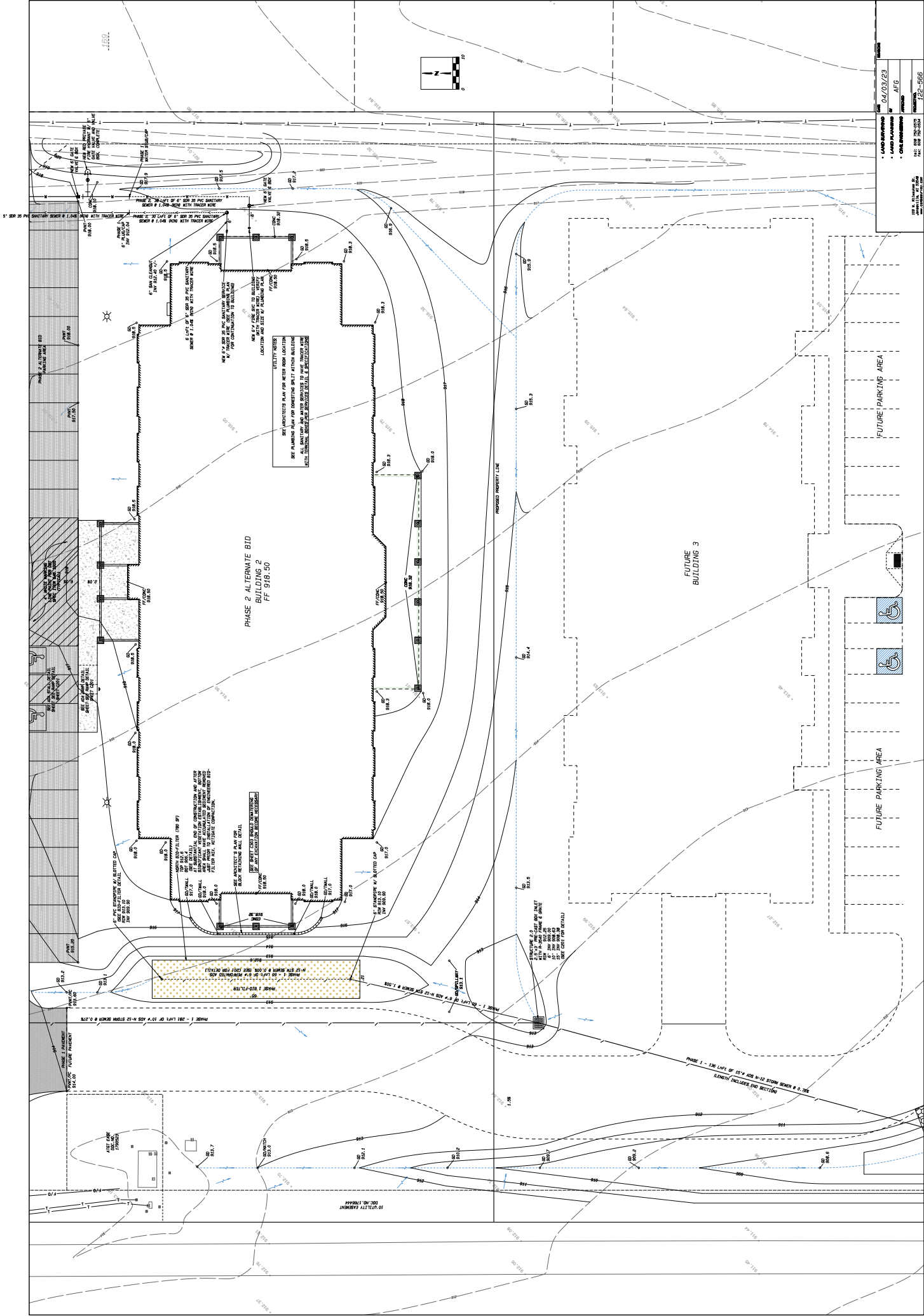
CONTRACT NEW SANITARY MAINS TO BE INSTALLED UNDER PORTER ROAD AND UNDER BUILDING 1. SEE SCHEDULE FOR MATERIALS AND METHODS. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND DEPTHS WITH A LITHIUM BATTERY LOCATOR AND/OR GPR. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND DEPTHS WITH A LITHIUM BATTERY LOCATOR AND/OR GPR. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

DATE	04/03/23
REVISION	1 - LAND PLAN
REVISION	2 - CADD
REVISION	3 - EGG
REVISION	4 - CADD
REVISION	5 - EGG
REVISION	6 - CADD
REVISION	7 - EGG
REVISION	8 - CADD
REVISION	9 - EGG
REVISION	10 - CADD
REVISION	11 - EGG
REVISION	12 - CADD
REVISION	13 - EGG
REVISION	14 - CADD
REVISION	15 - EGG
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REVISION	44 - CADD
REVISION	45 - EGG
REVISION	46 - CADD
REVISION	47 - EGG
REVISION	48 - CADD
REVISION	49 - EGG
REVISION	50 - CADD

UTILITY, GRADING & DRAINAGE PLAN (PHASE 1, NORTH) C300



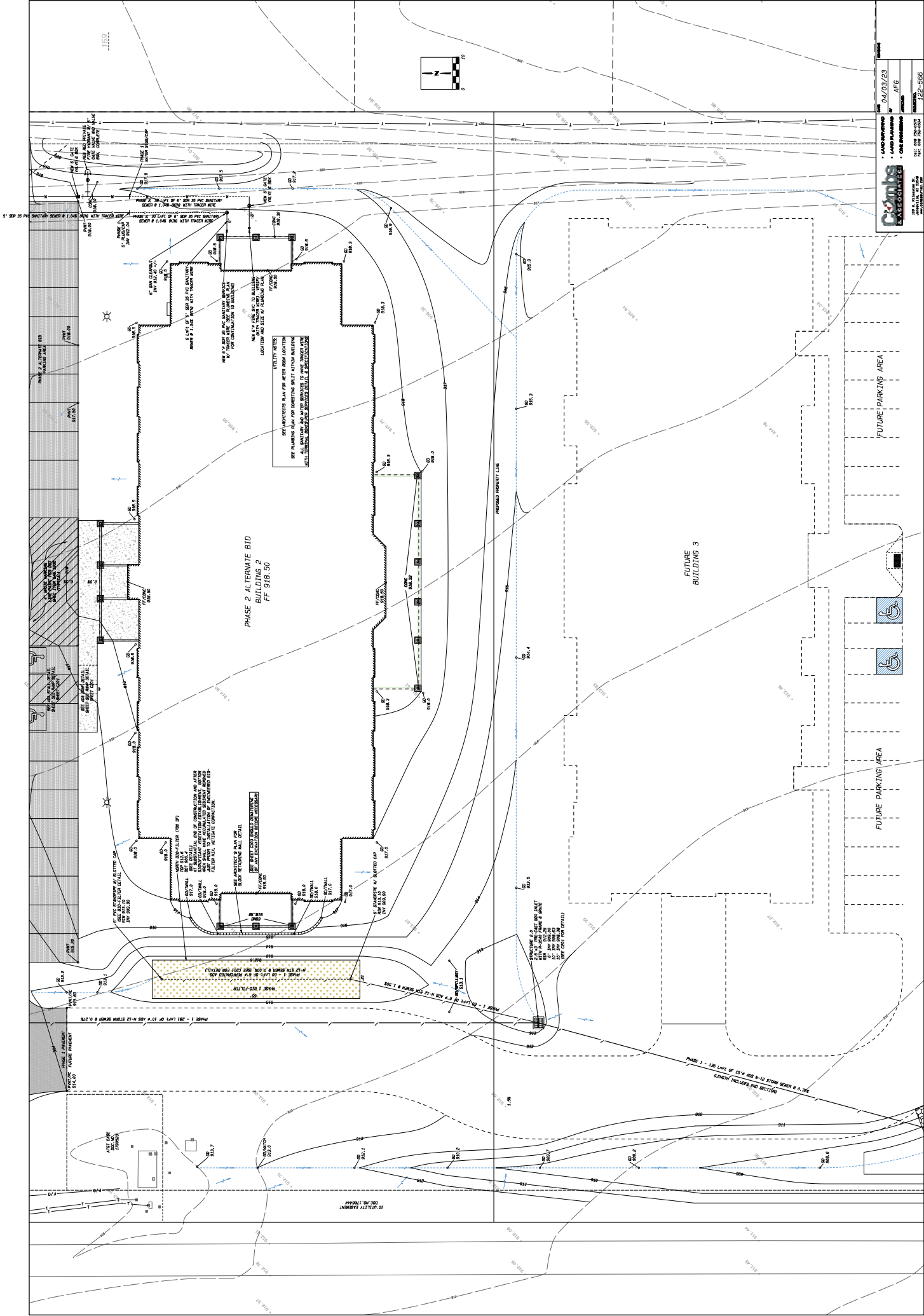
DATE	04/03/23
BY	AFG
REVISION	REVISED
PROJECT	UTILITY, GRADING & DRAINAGE PLAN (PHASE 1 ONLY, SOUTH) C307
SCALE	1/8" = 1'-0" (1/4" = 1'-0")
PROJECT NO.	2023-001
DATE PLOTTED	04/03/23
SCALE	1/8" = 1'-0" (1/4" = 1'-0")
PROJECT	UTILITY, GRADING & DRAINAGE PLAN (PHASE 1 ONLY, SOUTH) C307

UTILITY, GRADING & DRAINAGE PLAN (PHASE 1 ONLY, SOUTH) C307

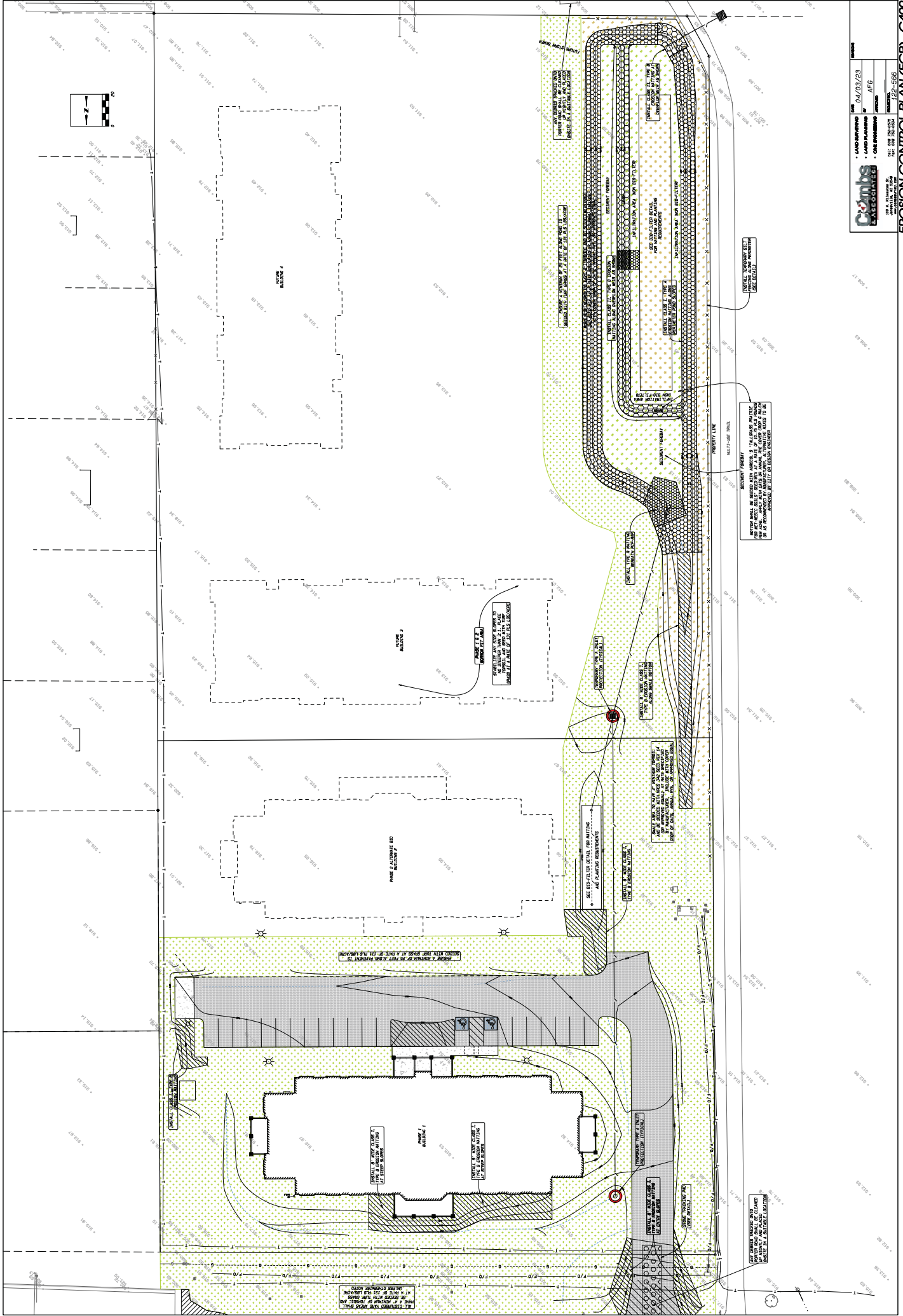


04/03/23
 LAND SURVEYING
 LAND PLANNING
 CIVIL ENGINEERING
Combs
 ENGINEERS
 1111 W. 10th St.
 Oklahoma City, OK 73106
 (405) 241-5555
 www.combs-engineers.com

UTILITY, GRADING & DRAINAGE PLAN (PHASE 2, SOUTH) C302



PPR02/1 ON:200
JANUARY 11, 2023



Combs
ENGINEERS

DATE: 04/03/23
PROJECT: AFG
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

EROSION CONTROL PLAN (ECP) C400

1. THE CONSTRUCTION SHALL BE COMPLETED AT A RATE OF 10% PER DAY. THE CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

PERMANENT TYPE 'A' TIE DETENTION (TYPICAL)

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

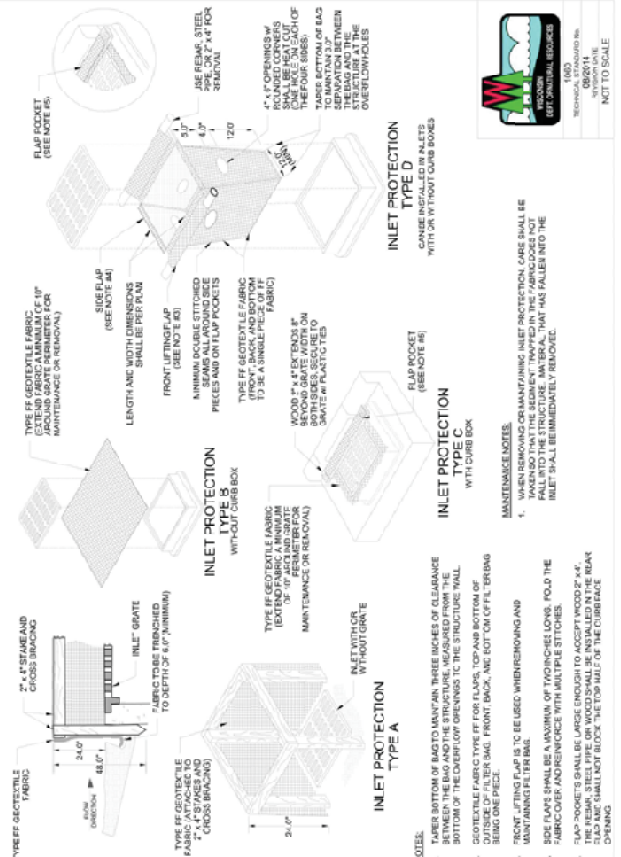
SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

SEE SHEET C400 FOR DETAIL OF THIS DETENTION BASIN.

NOTES: 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AFG SPECIFICATIONS. 2. THE EROSION CONTROL PLAN SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. 3. THE EROSION CONTROL PLAN SHALL BE REVISED AS NECESSARY TO REFLECT CHANGES TO THE CONSTRUCTION. 4. THE EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE AFG FOR REVIEW AND APPROVAL. 5. THE EROSION CONTROL PLAN SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

FIGURE 1. INLET PROTECTION TYPES A, B, C AND D



INLET PROTECTION TYPE D
 CAN BE INSTALLED IN ALLEYS WITH AN 18" FOOT CURB BOVES

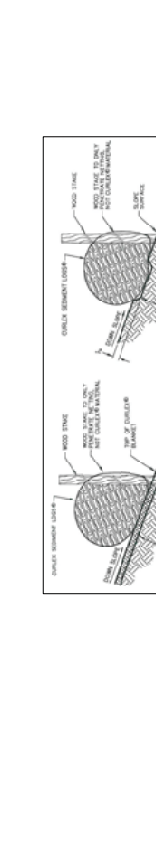
INLET PROTECTION TYPE C
 WITH CURB BOX

INLET PROTECTION TYPE B
 WITHOUT CURB BOX

INLET PROTECTION TYPE A
 WITH CURB BOX

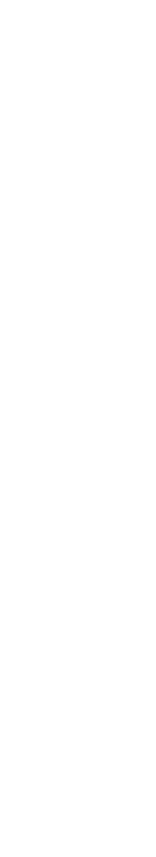
MAINTENANCE NOTES

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPED IN THIS FABRIC FROM FALLING INTO THE INLET. IT SHALL BE IMMEDIATELY REMOVED.
2. THE FABRIC SHALL BE LARGELY ENOUGH TO ACCOMMODATE THE DEBRIS THAT IS TRAPPED IN THE FABRIC. IT SHALL BE REMOVED IMMEDIATELY.
3. THE FABRIC SHALL BE LARGELY ENOUGH TO ACCOMMODATE THE DEBRIS THAT IS TRAPPED IN THE FABRIC. IT SHALL BE REMOVED IMMEDIATELY.
4. THE FABRIC SHALL BE LARGELY ENOUGH TO ACCOMMODATE THE DEBRIS THAT IS TRAPPED IN THE FABRIC. IT SHALL BE REMOVED IMMEDIATELY.



NOTE:

1. THREE BOTTOM OF EACH UNIT MUST BE THREE INCHES OF CLEARANCE FROM THE BOTTOM OF THE CURB OR DRAINAGE TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF CURB AND SIZE OF FILTER BAG, FRONT GATE, AND BOTTOM OF CURB, SHALL BE AS SHOWN ON THIS DRAWING.
3. FRONT LIFTING LAP IS TO BE LAPPED WHEN REMOVING AND MAINTAINING THE WALL.
4. SIDE FLAPS SHALL BE A MINIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND SECURE WITH MULTIPLE STITCHES.
5. THE FABRIC SHALL BE LARGELY ENOUGH TO ACCOMMODATE THE DEBRIS THAT IS TRAPPED IN THE FABRIC. IT SHALL BE REMOVED IMMEDIATELY.
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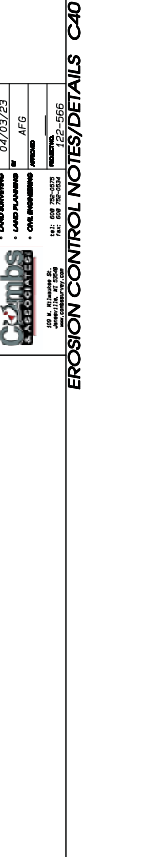


STONE TRACKING PAD
 OF THE SAME DIMENSIONS AS THE CURB BOX TRACKING PAD

NOTE: MAINTAIN THE BODY EXTENTIVE TO PREVENT TRAPPING AND MAINTENANCE

MAINTENANCE

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPED IN THIS FABRIC FROM FALLING INTO THE INLET. IT SHALL BE IMMEDIATELY REMOVED.
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4. THE FABRIC SHALL BE LARGELY ENOUGH TO ACCOMMODATE THE DEBRIS THAT IS TRAPPED IN THE FABRIC. IT SHALL BE REMOVED IMMEDIATELY.



TRENCH DETAIL

SILT FENCE

SILT FENCE TIE BACK
 WHEN REQUIRED BY ENGINEER

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
5. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES.
6. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
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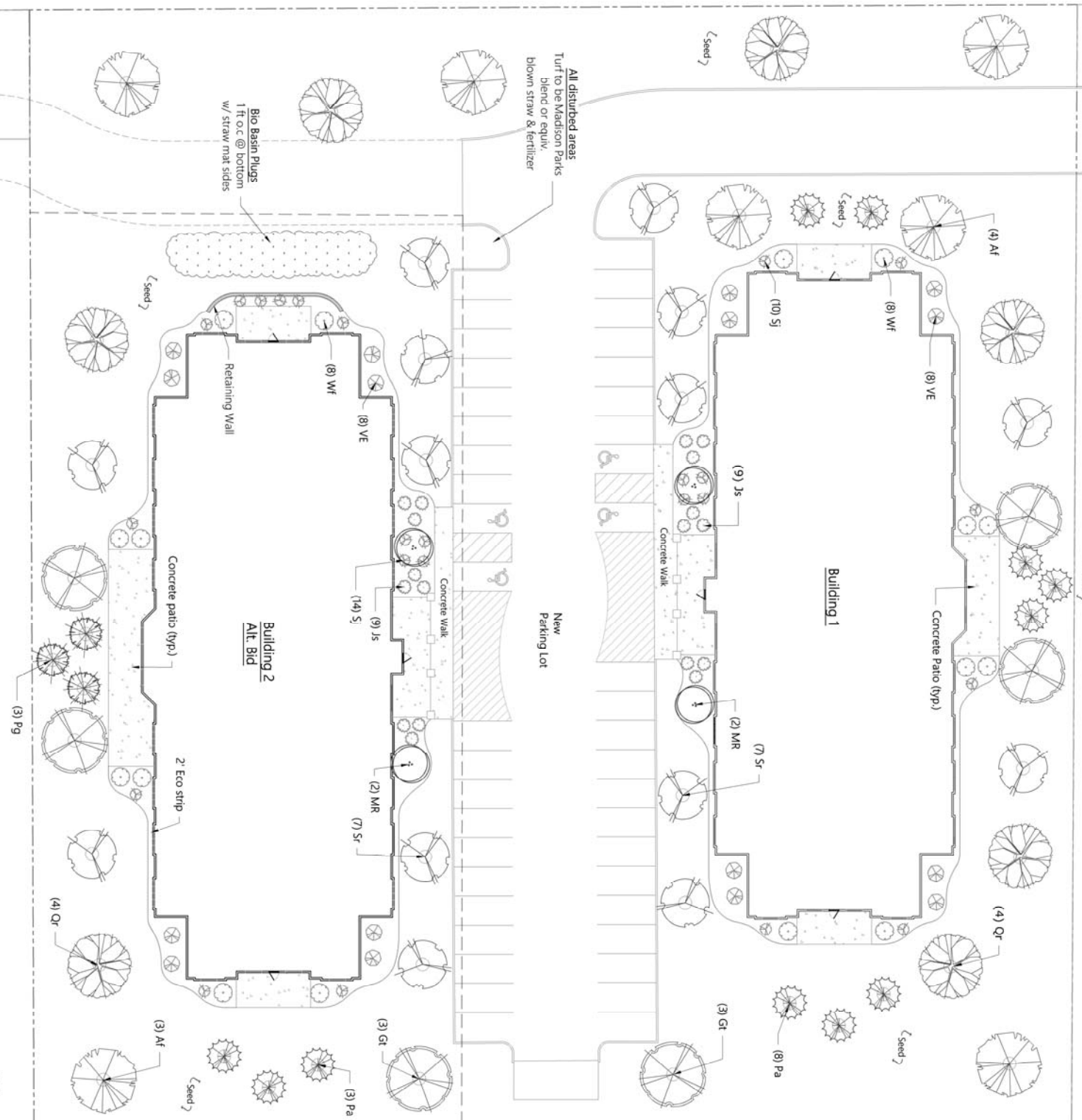
EROSION CONTROL BLANKET (SLOPE INSTALLATION)

1. THE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL EXPOSED SOIL SURFACES.
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EROSION CONTROL NOTES

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10. THE EROSION CONTROL NOTES SHALL BE INSTALLED ON ALL EXPOSED SOIL SURFACES.

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Note: All beds 15" washed stone over weec barrier w/ plastic edging unless noted otherwise. All tree rings dark brown, stained mulch.

Professional seal for James A. Schlesselman, Landscape Architect, License No. LA-260, Madison, WI. The seal is circular and contains the text 'JAMES A. SCHLESSELMAN', 'LANDSCAPE ARCHITECT', 'LICENSE NO. LA-260', 'MADISON, WI'.

SIENNA CREST

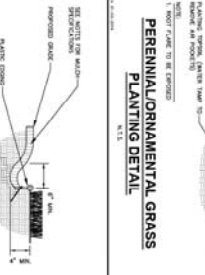
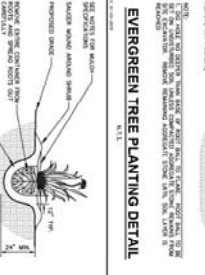
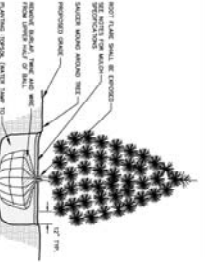
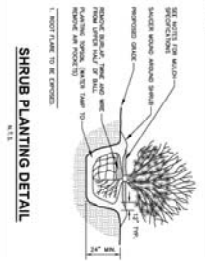
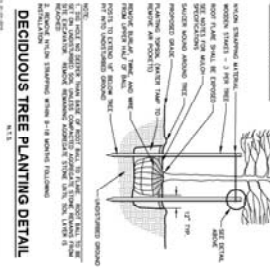
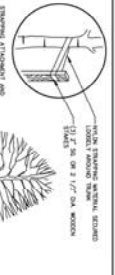
PORTER ROAD
EVANSVILLE, WI 53536

L1.0
SHEET

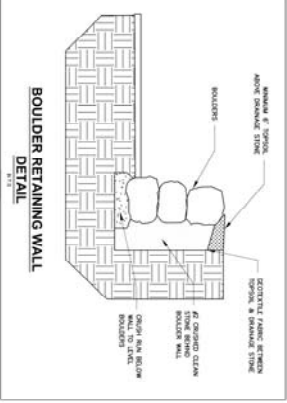
DATE: 5/25/23 MA
PRINT: 24X18"
1" = 20'-0"

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7395 Hwy PD Verona, WI
PH: (608) 845-5111
FAX: (608) 845-3335
www.glacierlandscape.com



Symbol	Scientific Name	Common Name	Quantity	Size	Root Condition	Individual Points	Total Points
TREES							
Evergreen							
Pa	<i>Picea abies</i>	Norway Spruce	11	5'	BAB	40	440
Pg	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	3	5'	BAB	40	120
Deciduous							
Qc	<i>Quercus coccinea</i> 'Inermis' 'Shademaster'	Shademaster Honeylocust	6	2"	BAB	50	300
Af	<i>Acer x freemanii</i> 'Narrow'	Narrow Maple	7	2"	BAB	50	350
Qr	<i>Quercus rubra</i>	Red Oak	8	2"	BAB	50	400
HR	<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	4	1.5"	BAB	20	80
Sr	<i>Syringa reticulata</i> 'Honey Silk'	Honey Silk Tree Lilac	14	2"	BAB	30	420
SHRUBS							
Evergreen							
Ja	<i>Juniperus sabina</i> 'Mini Arcadia'	Mini Arcadia Juniper	18	18"	Container	2	36
Deciduous							
Sj	<i>Spiraea japonica</i> 'Goldflame'	Goldflame Spiraea	24	18"	Container	2	48
Wf	<i>Weigela florida</i> 'Alexander'	Wine & Roses Weigela	8	2"	Container	4	32
Ve	<i>Viburnum</i> 'Emerald Triumph'	Emerald Triumph Viburnum	8	3"	Container	10	80
TOTAL POINTS							2306
Points Required							0



GENERAL PLANTING NOTES

The contractor shall be responsible for the selection and procurement of all plants and materials to be used in the project. All plants shall be delivered to the job site in a suitable container and shall be protected from damage during transport. The contractor shall be responsible for the installation and maintenance of all plants and materials. All plants shall be installed in accordance with the specifications and drawings. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project.

Soil shall be placed when the ground is workable condition and temperatures are less than 90 degrees Fahrenheit. Landscaping contractor shall ensure and immediately after installation to prevent excessive drying during periods of the work. A watering is completed in any one section, the contractor shall be advised, a shall insure to thoroughly irrigate to sufficient that the underside of the new sodded and immediately below the sod are thoroughly wet.

Plant all trees slightly higher than finished grade at root flare. Back 18" hole with 2/1 existing topsoil and 1/1 peat moss. Avoid any air pockets. Discard any gravel. Refer to planting details for further information. All trees to be installed, staked and gapped according to details. Refer to planting details for further information. All planting to be water.

During the initial 90 day maintenance period the landscape contractor is required to provide an on-going seasonal environment whereas any plant which is not responding to transplanting or baling shall immediately be replaced. New items shall be watered and repaired and weeds shall be removed. No exceptions will be granted. Landscaping contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project.

Notes:
 1: Turf areas to be fine graded, seeded, fertilized and straw mulched
 2: Plant beds to be separated from turf areas w/ plastic edging
 3: Plant beds to receive pre-emergent per mils, recommendations
 4: Plant beds in turf areas shall have 4" diameter shredded bark mulch rings
 5: Plantings in turf areas shall have 4" diameter shredded bark mulch rings
 The landscape contractor shall verify grades established during final preparations to be true to site contours, slopes, and that all plants and materials are installed in accordance with the specifications and drawings. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project.

Proposed trees to be staked as required. Verify with Landscape Architect if required under conditions present. Any one of trees to be planted in particular arrangement will be held checked for accuracy. Three of same species to be planted in group character and uniformity. Any trees required will be subject to rejection.

Upon acceptance of the landscape installation, the landscape contractor shall furnish the landscape architect with a complete and adequate maintenance program to be implemented during and after the guarantee period. The landscape contractor shall have periodic inspections of the maintenance program to be implemented during and after the guarantee period. The landscape contractor shall have periodic inspections of the maintenance program to be implemented during and after the guarantee period. The landscape contractor shall have periodic inspections of the maintenance program to be implemented during and after the guarantee period. The landscape contractor shall have periodic inspections of the maintenance program to be implemented during and after the guarantee period.

All plants must be bid and selected per the species specified on the plans. The size of plants material listed herein is a minimum acceptable size. A contractor proposing to reduce the crown size of the plant shall be required to provide a written justification for the proposed reduction. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project. The contractor shall be responsible for the removal and disposal of all plants and materials that are not used in the project. The contractor shall be responsible for the maintenance and care of all plants and materials during the project.





**Sienna Crest
Plant Palette**



Marmo Maple



Shademaster Honeylocust



Red Jewel Crabapple



Red Oak



Ivory Silk Tree Lilac



Goldflame Spirea



Sienna Crest
Plant Palette



Emerald Triumph Viburnum



Wine & Roses Weigela



Mini Arcadia Juniper



Black Hills Spruce



Norway Spruce



SITE PLAN APPLICATION – STAFF REPORT FOR PLAN COMMISSION

Applicant: Sienna Crest Assisted Living

Parcel 6-27- 559.5170

Location: 725/727 Porter Road

June 1, 2023

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: colette.spranger@ci.evansville.wi.gov or 608-882-2263

Description of request: The applicant is seeking approval of new construction that will include two buildings upon completion. The applicant intends to build in stages. The first building anticipated is an assisted living facility with 20 beds; the second will have 20 beds devoted to residents requiring memory care. These facilities will be licensed by the Wisconsin Department of Health Services as a Ch. 83 CAN-rated (non-ambulatory) Community Based Residential Facility. The property is zoned B-3 Community Business and is currently undeveloped.

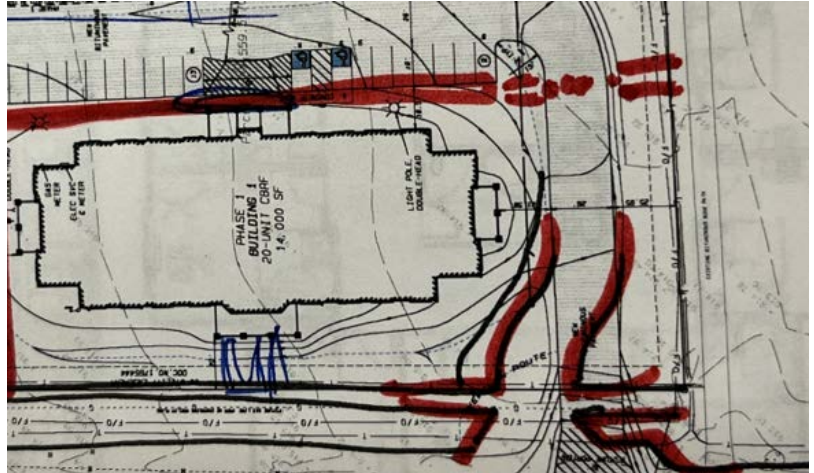
The site plan and building plan has already ready received approval from the state Department of Safety and Professional Services

Plan Commission granted a Conditional Use Permit for Institutional Residential Uses on this site at its May regular meeting.

Staff Analysis of Request: The proposal meets the standards outlined in the Zoning Ordinances, including those for Institutional Residential Uses. Staff would like to comment on the following:

- **Addressing:** Addresses are officially assigned when the building permit is issued. That said, the first building along Porter Road will be assigned 725 Porter Road. The second building will be assigned 727 Porter Road.
- **Landscaping.** Per Article IV of the City's zoning ordinance, this site requires 2,195 landscape points. The landscape plan as presented exceeds this requirement. The plant varieties planned adjacent to 725 Porter Road provides a good visual appearance from the West Side Park entrance across the street. Staff have received several comments from neighbors who have concerns about the impact the facility will have on the appearance and character of the existing neighborhood. A berm that currently exists between the subject parcel and lots along South Seventh Street will be kept and planed with Norway Spruce, Marmo Maple, Red Oak, and Shademaster Honeylocust trees. Once grown, these will provide ample screening of the buildings from the rest of the neighborhood.

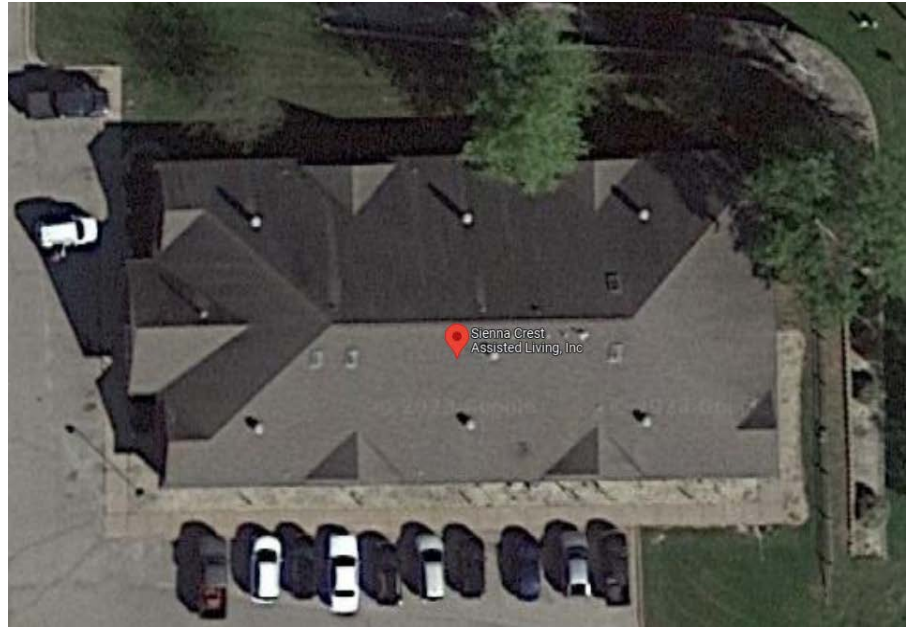
- **Driveway adjustment.** The driveway apron as presented on this site plan is about 25 feet away from the entrance to the highly-used multiuse path that runs parallel just west of the site. Staff and neighbor have expressed concerns about the potential for visitors to the site to confuse the path with the driveway. The adjustment preferred by City staff would be to curve the driveway approach slightly away from the path



Staff suggested adjustment to driveway approach.

- entrance by about 20-30 feet, and to include a directional sign pointing road users toward the correct driveway. A directional sign on its own may be sufficient. If the site plan is approved with the driveway as presented and there are observable conflicts in the future, it could be interpreted as a nuisance or a threat to public safety. The City could ask the applicant to adjust the driveway at that time. Making the fix now could prevent this issue. Alternatively: curbing the driveway along the entrance would also differentiate between the driveway and the multiuse path.
- **Stormwater conveyances.** A stormwater pond is planned on the parcel to the south, which is also owned by the applicant and may develop at a later date. Technically, this means the stormwater shed by the development is not being handled on site, which the City is not in the habit of allowing. However, the City Engineer did not find an issue with the pond as presented and suggested a drainage easement as a way to establish this parcel's right to use the adjacent site's stormwater pond in perpetuity, regardless of ownership.
- **Public Sidewalk.** Staff has been made aware the applicant is responsible for installing sidewalk in this location. The building inspector will require this to be completed prior to an occupancy permit being issued.
- **On site pedestrian connections.** Evansville prides itself on its walkability and endeavors to improve pedestrian access throughout the City. When reviewing site plans throughout the City, staff and Plan Commission have been insistent on creating connections for people to walk safely and efficiently within any site, newly built or redeveloped. Staff initially suggested the addition of connection paths on the site from the front door to the public sidewalk and from the nearby multiuse path to the driveway/parking lot area, The applicant is lukewarm on these ideas, stating that the lack of pedestrian access is intentional to ensure resident safety. The lack of curbed walkways adjacent to the parking lot is also intentional, so as to prevent a tripping hazard. Staff are requesting that in the very least, a walkway be connected from the public sidewalk to an entrance for 725 Porter Road.

- **Parking lot connections.** Staff suggest extending walkways along the parking areas to the building entrances, similar to the Sienna Crest site that is in Platteville. (See right.) Presently, people would need to walk through the parking lot to access the main entrances of either building. These walkways needn't be curbed.



Sienna Crest site in Platteville with pedestrian walkways adjacent to the parking spaces.

- **Impact on health and safety surfaces:**

Throughout the review process, several residents and some committee members expressed concern on the impact a facility such as this would have on certain City services. The fire inspector, EMS chief, and police chief all reviewed the site plan and voiced no major concerns. None felt that the addition of this facility would result in additional strain on their resources or create an adverse impact on their ability to serve the community. The fire inspector did suggest an automatic fire alarm system as opposed to a manual one, pointing out that staff would be focused on evacuating residents in an emergency. Once triggered, an automatic alarm system would place a call to 911 without staff having to call.

Required Plan Commission findings for Conditional Use Permit request: Section 130-104 (3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. **Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of September 2022.
Staff Comment: The Comprehensive plan indicates this area be used for mixed/residential uses and a desire to create aesthetically appealing and welcoming entry corridors into the city. This proposal achieves all of the applicable goals.
2. **Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.
Staff comment: The proposed construction is consistent with the City's zoning code and other plans, programs, and ordinances.
3. **Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters

affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.

Staff Comment: No adverse effect is anticipated on nearby property. The materials, scale, and character of the proposed buildings blend well with the neighborhood. Staff does recommend a revision to the driveway location to avoid conflict with users along the nearby trail.

4. **Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Comment: Housing for those requiring assisted living and memory care is appropriate in the B-3 zoning district; the applicant already has a conditional use permit for institutional residential use and meets the additional requirements for that use within the B-3 zoning district.

5. **Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.

Staff Comment: Water and sewer are available at the site. Porter Road is currently being improved in this location. Per City policy, no building permit can be issued for development until curb and gutter is in place. The fire inspector, EMS chief, and police chief have all reviewed the site plan and have no major concerns.

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the site plan do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

Staff recommended motion: *The Plan Commission approves the site plan that includes improvements as presented on parcel 6-27-559.5170, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:*

1. *Driveway location revised or curbed to avoid conflict with trail users.*
2. *Pedestrian walkway internal to site added to connect building entrances with public sidewalk per City Staff/Engineer approvals.*
3. *Pedestrian walkway to be extended entire length of parking areas; may be flush with pavement.*
4. *Stone veneer added to west and east wings on 725 Porter Road building.*
5. *Any variation from presented plans are approved by Plan Commission.*
6. *Any exterior lighting should be dark sky friendly and not cause glare or light-wash on neighboring parcels.*

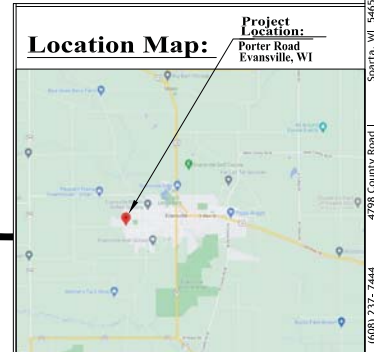
Sienna Crest CBRF

New Class CNA CBRF Facility
 Porter Road
 Evansville, WI
CD Set
 March 06, 2023



GENERAL NOTES AND SPECIFICATIONS

1. The mechanical systems design are not a part of these plans.
2. All work performed to meet all state and local building codes. Contact the architect with any field-discovered discrepancies.
3. The general contractor is to field verify all existing conditions and dimensions.
4. VERIFY IN FIELD locations of all property lines adjacent to new construction
5. Accessible parking stalls are available on-site immediately outside the front entrance.
6. The building is Type VA construction.



Sheet Index:

Architectural	
A0.0	Title Sheet
A0.1	Code Analysis Plan
Civil	
C-100	Dimension Plan
Architectural	
A2.0	Floor Layout Plan
A2.1	Roof Plan / Reflected Ceiling Plan
A2.2	Door / Frame Schedule
A2.3	Finish Schedule / Interior Details
A2.4	Enlarged Plans/ Interior Details
Structural	
S1.0	Structural Notes
S2.0	Foundation Plan / Details
S3.0	Framing Plan / Details
S4.0	Braced Wall Plan / Details

Architect:
CASHMAN ASSOCIATES, Inc.
 Gregory M. Cashman, AIA
 4798 County HWY I Sparta, WI 54656
 Ph: (608) 237-7443 Fax: (608) 237-7444
 gcashman@cashman.net

Architect Stamp:

Project General Notes:

1. CODE COMPLIANCE: ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
2. PERMITS: CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/OR LICENSES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
3. COORDINATION: ALL SUBCONTRACTORS SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR. FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE, ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
4. FIELD VERIFICATION: ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
5. DEMOLITION: CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
6. PENETRATIONS: ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
7. PRESTOPPING: ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, PRESTOPPED, DAMPPED, AS REQUIRED BY CURRENT 2015 IBC Code.
8. HAZARDOUS MATERIALS: ANY HAZARDOUS MATERIALS DISCOVERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
9. DO NOT SCALE DRAWINGS: IN ALL CASES, NOTES, DIMENSIONS AND/ OR NOTES INDICATING DIMENSIONS OR SIZES SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
10. DIMENSIONS: ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUND-FRAMED STUD WALL TO FACE OF ROUND-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

CASHMAN ASSOCIATES, INC. PH: (608) 237-7443 FAX: (608) 237-7444 4798 County Road 1 Sparta, WI 54656 PROJECT: Sienna Crest CBRF New Class CNA CBRF Facility Porter Road Evansville, WI 53538 SHEET NO. 001 OF 001 DATE: March 06, 2023

NO.	TITLE	DATE

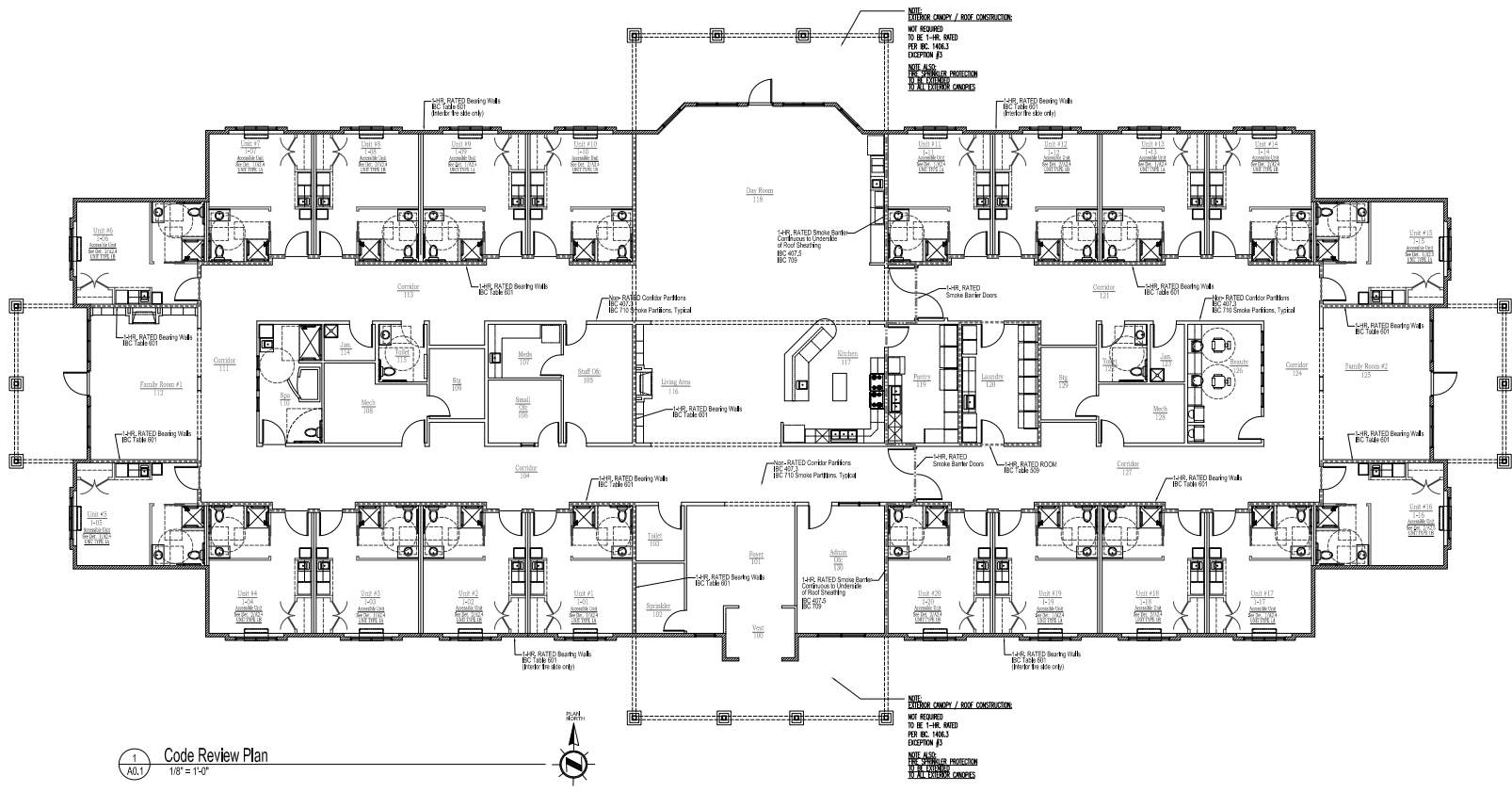
PROJECT OWNER: gcashman@cashman.net
 Sienna Crest CBRF Facility
 845 Market Street
 Oregon, WI 53575

PROJECT LOCATION: Porter Road Evansville, WI 53538 Rock County DATE: March 06, 2023

GEC
 General Engineering Company
 1000 North Lincoln Street
 Evansville, WI 53538
 PH: (608) 835-1111
 FAX: (608) 835-1112

Title Sheet

A0.0



1 Code Review Plan
1/8" = 1'-0"

Project Code Information:

DESCRIPTION:
 New I-2 (CBRF) Facility
 WI Dept. of Health Services (DHS) Ch. 83-Community-Based Residential Facilities
 DHS 83.04 (2)(f) Class C non-ambulatory (CNA)
 NFPA 13 Sprinklered Construction

APPLICABLE CODES:
 - State of Wisconsin Department of Safety and Professional Services
 Administrative Code- Chapters 361, 362, 363, 364, 365
 - 2015 International Building Code and SPS 362
 - 2015 International Existing Buildings Code and SPS 366
 - 2015 International Energy Conservation Code and SPS 363
 - 2015 International Mechanical Code and SPS 364
 - 2015 International Fuel Gas Code and SPS 365
 - SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
 - SPS Plumbing Chapters 381-387 as based on SPS 362.2901
 - 2015 International Fire Code
 - Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35
 - 4910.1 Minimum Property Standards for Housing
 - Fair Housing Act
 - ADA Title III

OCCUPANCY CLASSIFICATION: IBC Section 308
 IBC Section 308.4.1.1 Occupancy I-2 Condition 1: Institutional I-2:

Building Gross SF Areas:

Building Level	Building GSF I-2 Occupancy	Building Canopies GSF	Total GSF
First Floor	13,984 gsf	1,291 gsf	15,275 gsf

Building Height: IBC Section 504.3
 ±24'-10" (from main level to ridge) (50'-0" Allowable)

No. of Levels: One IBC Section 504.4
No. of Stories: One One-Story Allowed

Construction Type:
 - Type VA- Wood Frame Protected - 1-Hr. Construction IBC Section 601

Struct. Frame	Bearing Walls Ext.	Int.	Non-Bearing Ext.	Int.	Floor Const.	Roof Const.
1-hr.	1-hr.	1-hr.	0-hr.	0-hr.	1-hr.	1-hr.

OCCUPANCY SEPARATION: None
 Single-Occupancy- One-Story Building IBC 506.2.1

ALLOWABLE BUILDING HEIGHTS AND AREAS: IBC Chapter 5- Table 506.2
 - A₁ (Allowable tabular area per floor) = 38,000 sf
 - 38,000 sf Allowable Area > 15,275 gsf Building Fire Area

SPECIAL PROVISIONS: IBC Chapter 4
 IBC 407.3: IBC 710: Corridors Shall be non-rated Smoke Partitions*
 *Note: Corridor (Bearing) Walls per IBC 601 are 1-hr. Construction
 IBC 407.3.1: Corridor Doors Shall be non-rated w/ positive latch hardware.
 IBC 407.5: IBC 709: Smoke Barrier: One, 1-hr. Smoke Barrier is required
 IBC 407.5.1: Smoke Barrier Refuge Areas: Required on both sides of Smoke Barrier
 DHS 83.51 (1) Area of Refuge
 IBC 407.8: Automatic Sprinkler System Required per IBC 903.3.1.1
 IBC 407.7: Fire Alarm System Required per IBC 907.2.6
 IBC 407.8: Automatic Fire Detection: Corridors and Spaces open to Corridors must be equipped with Automatic Fire Detection IBC 903.2.6 (See also exceptions in this section)

DHS 83.60 Windows (1) - Minimum Daylight size equals 8% of resident room floor area
 - Minimum Ventilation size equals 4% of resident room floor area

FIRE PROTECTION:
 NFPA 13R- COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM
 IBC 903.2.6-Exception 1: IBC 903.3.1.2 NFPA 13R system allowed
 NFPA 72- Complete Manual Fire Alarm System- IBC 907.2.6.
 Entire Building and Complete Automatic Fire Detection System- per IBC 907.2.6.
 Entire Building
 NFPA 72- Smoke Detection System- per IBC 907.2.6.2
 DHS 83.48 (1) Interconnected smoke and Heat Detection System Required
 Roof / Ceiling Assembly - 1-hr. Rated Construction
 IBC 718.4.3 : Draftstopping in attic required- NFPA 13R Sprinkler System

Interior Finish Flame Spread Rating:
 Class B Finish- Interior Wall and Ceiling finishes per IBC Table 803.11
 Class II Finishes- Interior Floors allowed per IBC Table 804.4.2

IBC Sec. 1004- Occupant Load:
 See Code Review Plan for square footages and Occupant Load
 IBC Sec. 2902.1: Plumbing Fixtures:
 (I-2) Resident Rooms: (1) Lavatory & (1) Water Closet per room Required / Provided
 (I-2) Resident Rooms: (1) Bath/Shower per 15 Rooms Required/ Provided
 Employees / Visitors: (1) Unisex Toilet Room Required- (3) Provided

C.A.S.H.M.A.N. ARCHITECTS, INC.
 PROJECT: Sienna Crest CBRF New Class CNA CBRF Facility
 LOCATION: 4798 County Road I, Porters Road, Evansville, WI 53538
 PROJECT OWNER: Spina One Assisted Living, 845 Haled Street, Oregon, WI 53575
 DATE: March, 2023
 SHEET: 1 OF 1
 REVISIONS:



Code Analysis

A0.1

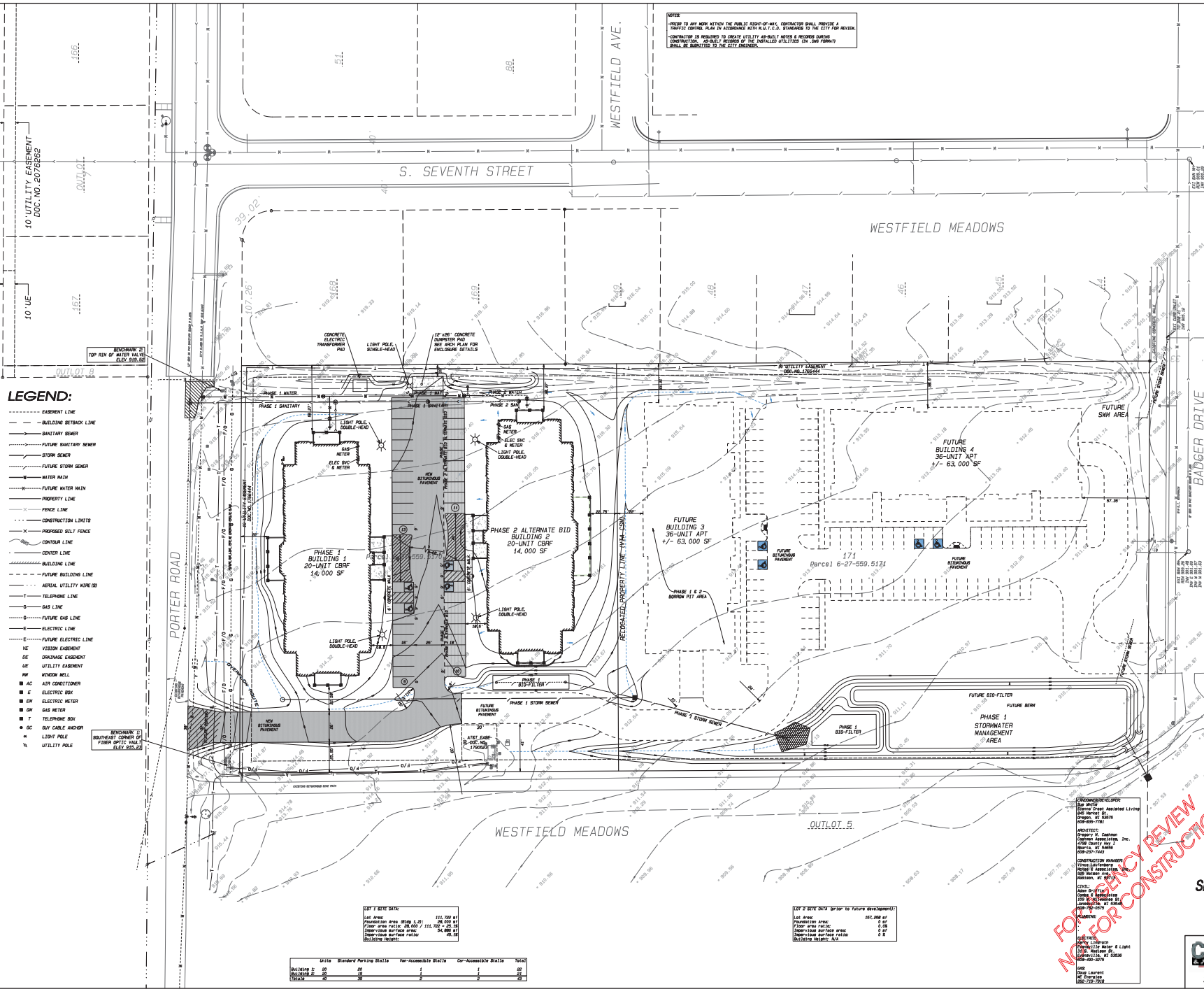
To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin
CALL DIGGERS HOTLINE
 1-800-242-8511
 Wis Statute 192.0175 (1974)
 Requires Min. 3 Work Days
 Notice Before You Excavate

NOTES:
 -BIDDY TO ANY WORK OTHER THAN THE PUBLIC RIGHT-OF-WAY CONTRACTOR SHALL PREPARE A DETAILED CONSTRUCTION PLAN TO ACCORDANCE WITH W.S. C.S. SUBMITTED TO THE CITY FOR REVIEW.
 -CONTRACTOR IS REQUIRED TO OBTAIN UTILITY AS-BUILT NOTES & RECORD DRAWING CONSTRUCTION. RECENTLY PROVIDED BY THE INSTALLED UTILITIES (OR OWNERS) SHALL BE SUBMITTED TO THE CITY ENGINEER.



INDEX OF SHEETS
 C100 DIMENSION PLAN
 C200 GENERAL NOTES & DETAILS
 C201 DETAILS
 C300 UTILITY, GRADING, & DRAINAGE PLAN (PH 1 NORTH)
 C301 UTILITY, GRADING, & DRAINAGE PLAN (PH 1 SOUTH)
 C302 UTILITY, GRADING, & DRAINAGE PLAN (PH 2 SOUTH)
 C303 STORM WATER MANAGEMENT PLAN
 C400 EROSION CONTROL PLAN
 C401 ECP NOTES AND DETAILS

- LEGEND:**
- EASEMENT LINE
 - BUILDING SETBACK LINE
 - SANITARY SEWER
 - FUTURE SANITARY SEWER
 - STORM SEWER
 - FUTURE STORM SEWER
 - WATER MAIN
 - FUTURE WATER MAIN
 - PROPERTY LINE
 - FENCE LINE
 - CONSTRUCTION LIMITS
 - PROPOSED SILT FENCE
 - CONTOUR LINE
 - CENTER LINE
 - BUILDING LINE
 - FUTURE BUILDING LINE
 - AERIAL UTILITY WIRE (D)
 - TELEPHONE LINE
 - GAS LINE
 - FUTURE GAS LINE
 - ELECTRIC LINE
 - FUTURE ELECTRIC LINE
 - VISION EASEMENT
 - DRAINAGE EASEMENT
 - UTILITY EASEMENT
 - KENNEL WELL
 - AC AIR CONDITIONER
 - E ELECTRIC BOX
 - EW ELECTRIC METER
 - GW GAS METER
 - T TELEPHONE BOX
 - AC AIR CABLE ANCHOR
 - LIGHT POLE
 - UTILITY POLE



BENCHMARK 2
 TOP PIN OF WATER VALVE
 ELEV. 519.55

BENCHMARK 2
 SOUTHWEST CORNER OF
 FIBER OPTIC VAULT
 ELEV. 519.58

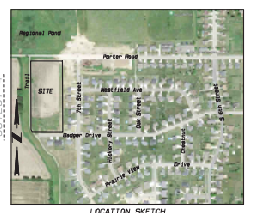
DATE OF SITE DATA: 11/1/2024
 Lot Area: 111,100 SF
 Foundation Area: 28,000 SF
 Floor Area: 85,000 / 111,700 SF
 Impervious Surface Area: 54,000 SF
 Detention Capacity: 10,000 GPD

DATE OF SITE DATA (prior to future developments): 08/20/23
 Lot Area: 111,100 SF
 Foundation Area: 28,000 SF
 Floor Area: 85,000 / 111,700 SF
 Impervious Surface Area: 54,000 SF
 Detention Capacity: 10,000 GPD

Units	Stormwater Retention	Non-Accessible Drains	Cur-Accessible Drains	Total
Building Area	28	0	0	28
Drainage Area	28	0	0	28
Total	56	0	0	56

FOR AGENCY REVIEW
 NOT FOR CONSTRUCTION

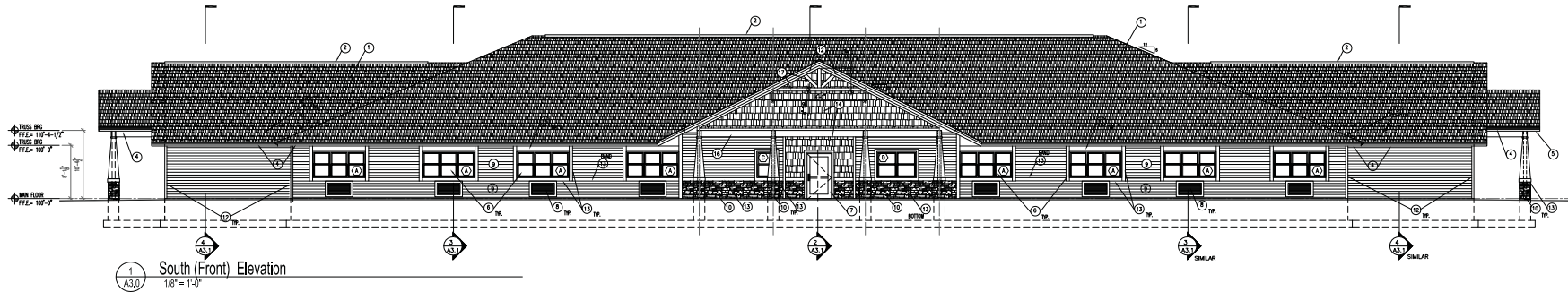
SEAL
 ADAM F. GRIFFIN PE
 WI REG. # 36640-006
 EXP. DATE: 07/31/2028
 COVER SHEET C100 (18x11) C100



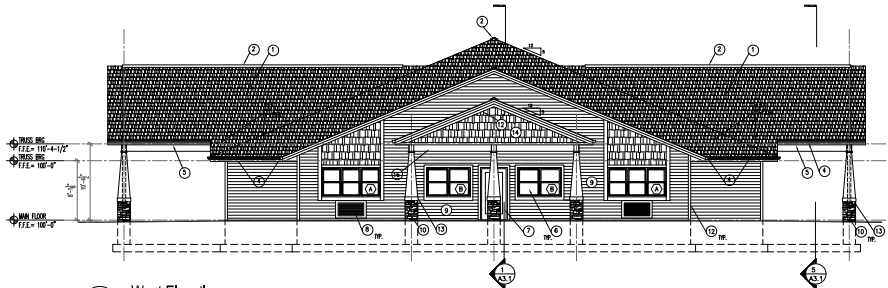
CONSTRUCTION PLANS FOR SIENNA CREST ASSISTED LIVING INC.

LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 SECTION 18, T.4N., R.10E. OF THE 4TH P.M.
 CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.

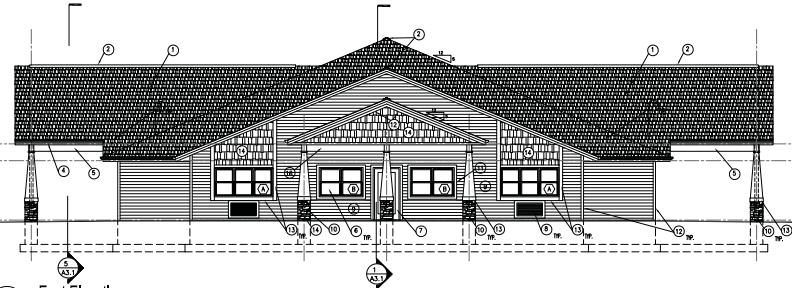
	LAND SURVEYED	DATE: 03/02/23	SCALE:
	LAND PLANNED BY	AFG	
	CIVIL ENGINEERING		
	DESIGNED BY		
DATE: 03/02/23	PROJECT NO: 23-566		
100 W. Wisconsin St. Evansville, WI 53536 www.combsandassociates.com	TEL: 608-752-5375 FAX: 608-752-5354		



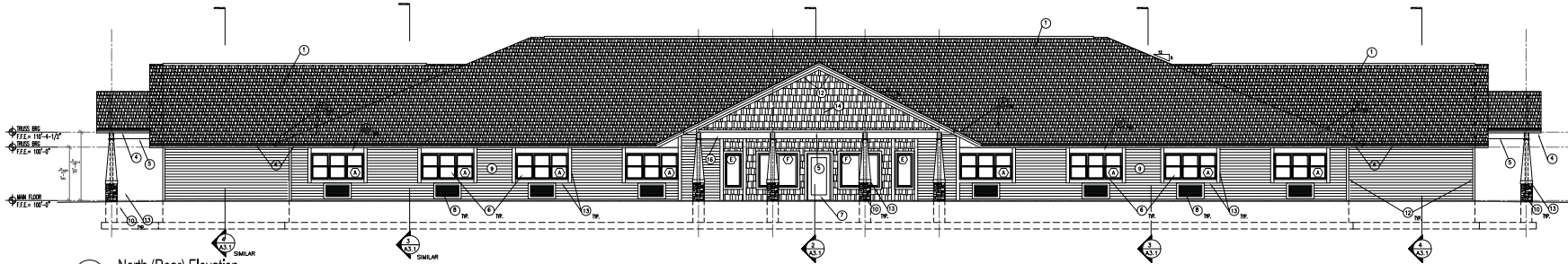
1 South (Front) Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"



3 East Elevation
1/8" = 1'-0"



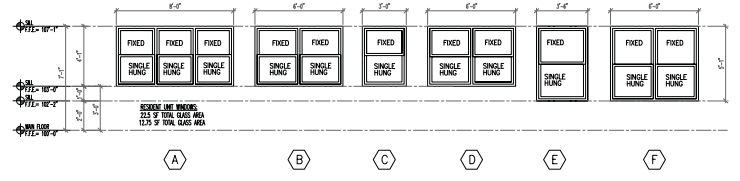
4 North (Rear) Elevation
1/8" = 1'-0"

**Keyed Notes-
Exterior Elevations** SHIT_A3.0

- ① FIBERGLASS, ARCHITECTURAL, SHADOW LINE 30 YEAR SHINGLE
- ② RIDGE VENTS, TYPICAL
- ③ INSTALL ICE & WATER SHIELD-C-0" WIDTH FROM 0-EDGE UP 4'-0" CONTINUOUS BUG PERIMETER PAINTED METAL SUTTER & DOWNPOUT BY VENTED SOFFIT CONNECT DOWNPOUT TO STORM PIPING SYSTEM, TYP.
- ④ NON-VENTED METAL SOFFIT (UNDER CANOPY)
- ⑤ EXTERIOR WINDOWS, TYPICAL - SEE SCHEDULE - SJ/ A3.0
- ⑥ ALUMINUM ENTRANCE SYSTEM- SEE DOOR SCHEDULE
- ⑦ DECORATIVE, PAINTED METAL AIR CONDITIONER VENT COVER SIZE BY CONTRACTOR- BASED UPON UNIT FREQ UNIT.
- ⑧ 0.44 MIN THICKNESS DOUBLE-5" VINYL SIDING
- ⑨ STONE VENEER- SEE DETAIL
- ⑩ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 3.5" TRIM BOARD CEAN TEXTURE FINISH
- ⑪ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 5.5" TRIM BOARD CEAN TEXTURE FINISH
- ⑫ UP "SMART-SIDE" WOOD-GRAIN CEAN TEXTURE FINISH
- ⑬ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 9.12" TRIM BOARD CEAN TEXTURE FINISH
- ⑭ "SMART-SIDE" S40 SERIES 0.870 THICKNESS x 11.21" TRIM BOARD CEAN TEXTURE FINISH
- ⑮ WOOD-FRAMED DECORATIVE CABLE BRACKET- W/SP R/ "SMART-SIDE" TRIM

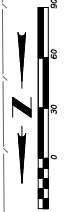
Exterior Window Notes

1. ALL FRAMES- VINYL, FRAME WINDOW UNITS- 0.30 U-VALUE
2. OPERABLE WINDOWS- WHERE INDICATED ON DETAIL- ALUMINUM BUG SCREEN- INTERIOR SIDE OF OPERABLE SINGLE-HUNG STYLE UNITS
3. GLAZING, TYPICAL: 1" NOMINAL, INSULATED LOW E, ARGON-GAS FILLED, CLEAR GLASS SHADING COEFFICIENT: 0.37 +/- PROVIDE SAFETY GLASS WHERE REQUIRED
4. WINDOW DIMENSIONS ARE NOMINAL AND APPROXIMATE. VERIFY ALL WINDOW SIZES IN FIELD FOR EXACT R.O.D. DIMENSIONS

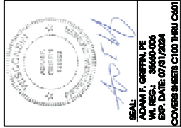


5 Exterior Window Types
1/4" = 1'-0"

TO OBTAIN LOCATION OF
APPLICABLE UNDERGROUND
UTILITIES, CONTACT
Dig in Wisconsin
CALL DIGGERS
HOTLINE
1-800-242-9511
MIS Statute 182.075 (1974)
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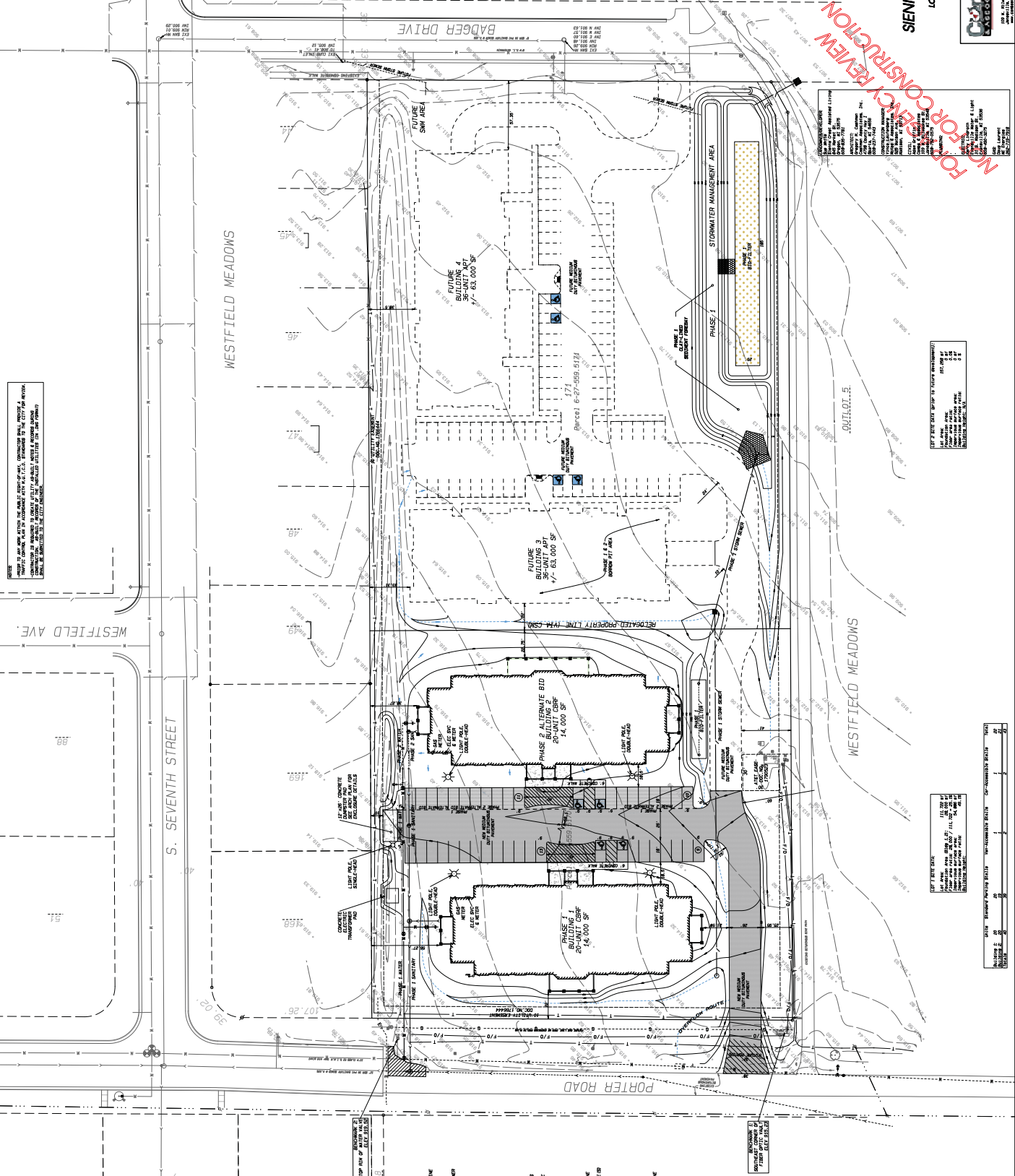
INDEX OF SHEETS
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 C101 GENERAL NOTES & DETAILS
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 C103 UTILITY, GRADING & DRAINAGE PLAN (PH 2 SOUTH)
 C104 STORM WATER MANAGEMENT PLAN
 C105 STORM CONTROL PLAN
 C106 ECP NOTES AND DETAILS



CONSTRUCTION PLANS
 FOR
SIENNA CREST ASSISTED LIVING INC.
 LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 CITY OF EVANSTON, ROCK COUNTY, WISCONSIN

Counties
 LAND SURVEYOR: AFG
 DATE: 04/03/23
 PROJECT: SIENNA CREST ASSISTED LIVING INC.
 LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 CITY OF EVANSTON, ROCK COUNTY, WISCONSIN

DIMENSION PLAN C100



NOT FOR CONSTRUCTION
 FOR REVIEW ONLY
 DATE: 04/03/23
 PROJECT: SIENNA CREST ASSISTED LIVING INC.
 LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 CITY OF EVANSTON, ROCK COUNTY, WISCONSIN

PLEASE NOTE: THE CITY OF EVANSTON HAS REVIEWED THESE PLANS FOR CONFORMANCE WITH THE CITY OF EVANSTON
 SUBMITTAL REQUIREMENTS. THE CITY OF EVANSTON DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED
 HEREON. THE CITY OF EVANSTON IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY OCCUR AS A
 RESULT OF THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THESE PLANS.

10' UTILITY EASEMENT
 DDC NO. 207822

LEGEND:

- EASEMENT LINE
- BUILDING SETBACK LINE
- SHOOTING BEARING
- FUTURE SANITARY SEWER
- FUTURE SANITARY SEWER
- FUTURE STORM SEWER
- FUTURE STORM SEWER
- FUTURE WATER MAIN
- PROPERTY LINE
- FENCE LINE
- PROPOSED BELT LOCUS
- CENTER LINE
- BUILDING LINE
- AERIAL UTILITY WATER
- GAS LINE
- FUTURE GAS LINE
- FUTURE ELECTRIC LINE
- FUTURE ELECTRIC LINE
- DRAINAGE EASEMENT
- UTILITY EASEMENT
- AIRCRAFT OBSTACLE
- ASBESTOS
- GAS METER
- GAS METER
- TELEPHONE BOX
- LIGHT POLE
- UTILITY POLE

DATE: 04/03/23
 PROJECT: SIENNA CREST ASSISTED LIVING INC.
 LOTS 170 & 171 OF WESTFIELD MEADOWS 1ST ADDITION
 CITY OF EVANSTON, ROCK COUNTY, WISCONSIN



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KANSAS CITY SANITARY ENGINEERING DEPARTMENT SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.

2. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE CITY OF KANSAS CITY SANITARY ENGINEERING DEPARTMENT SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.

3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF KANSAS CITY SANITARY ENGINEERING DEPARTMENT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KANSAS CITY.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

6. ALL EXCAVATIONS SHALL BE PROTECTED BY SHIELDING OR SHIELDING EQUIVALENTS.

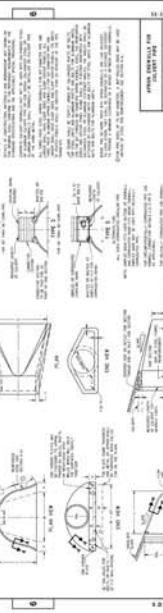
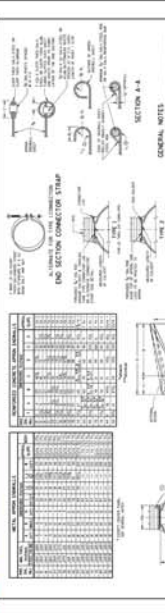
7. ALL EXCAVATIONS SHALL BE BACKFILLED WITH COMPACTED MATERIAL TO ORIGINAL GRADE OR BETTER.

8. ALL EXCAVATIONS SHALL BE PROTECTED BY SHIELDING OR SHIELDING EQUIVALENTS.

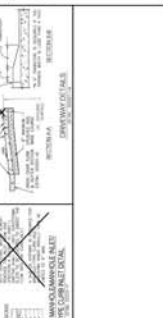
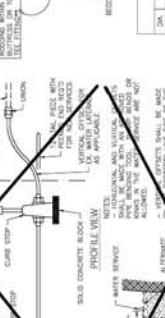
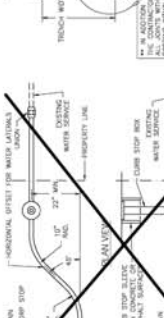
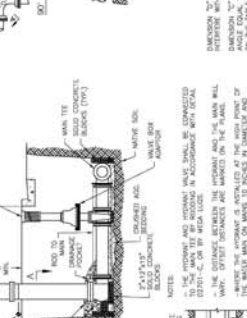
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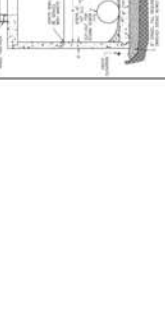
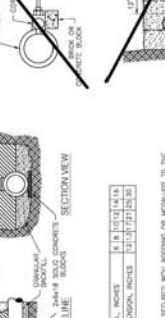
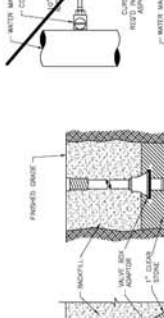
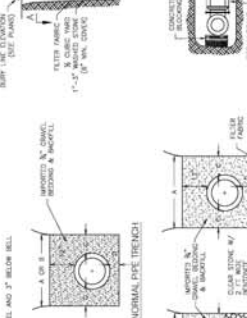
STANDARD MANHOLE DETAIL



STANDARD HYDRANT SETTING



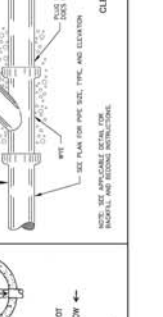
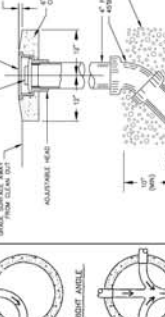
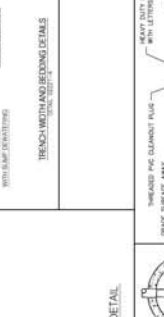
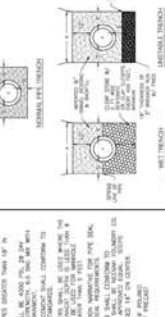
STANDARD VALVE BOX SETTING



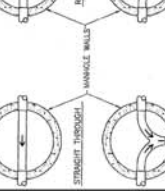
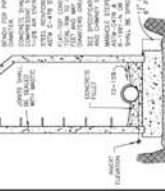
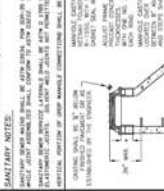
STANDARD MANHOLE DETAIL



STANDARD VALVE BOX SETTING



STANDARD VALVE BOX SETTING



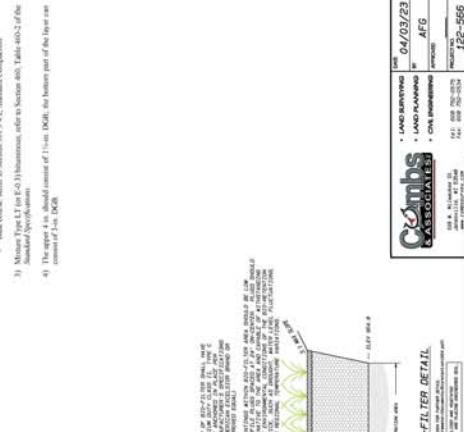
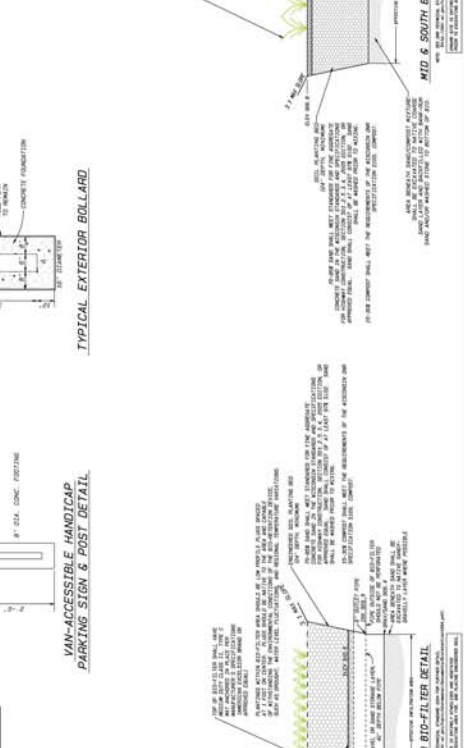
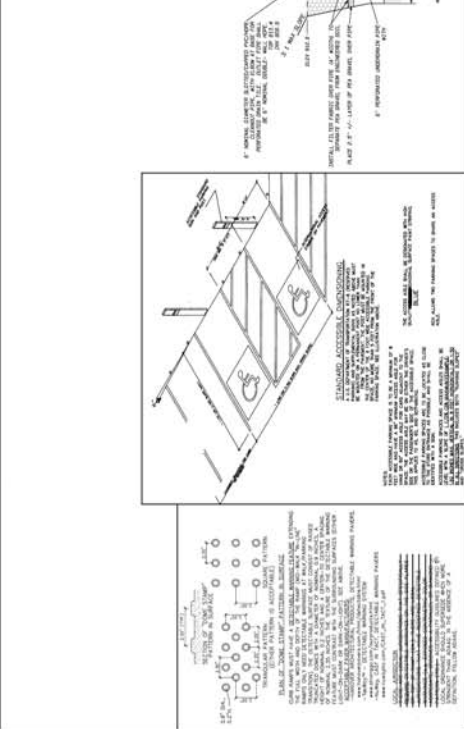
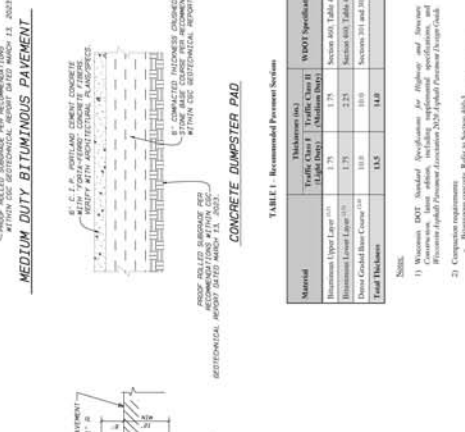
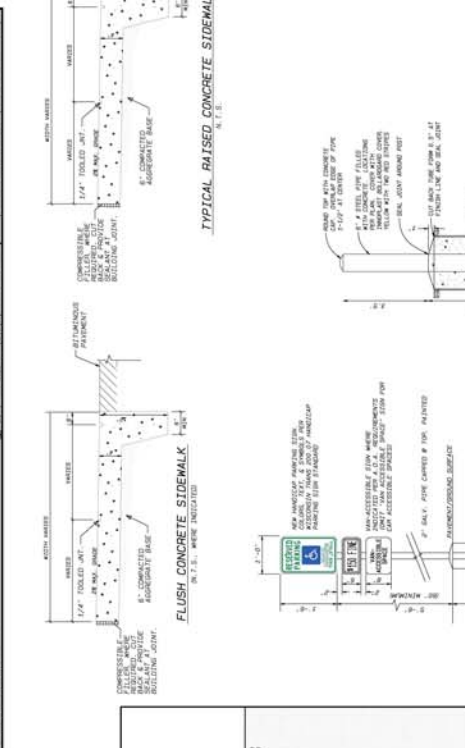
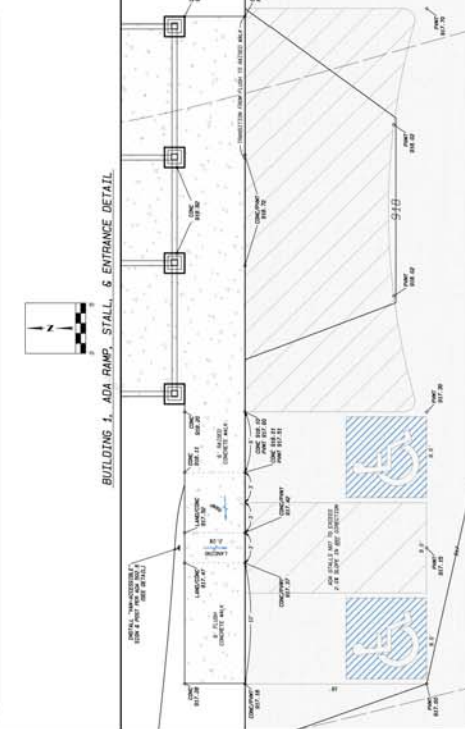
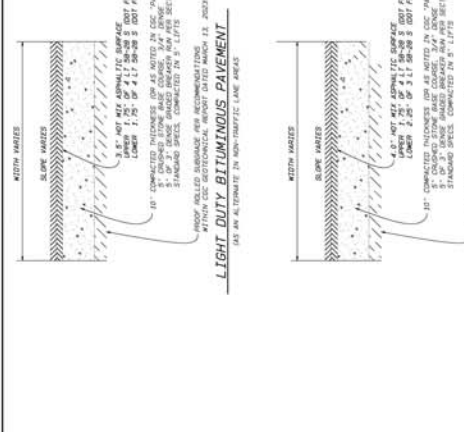
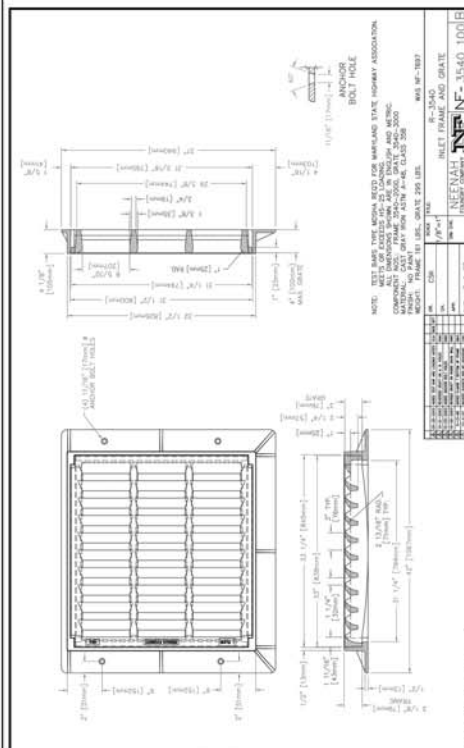
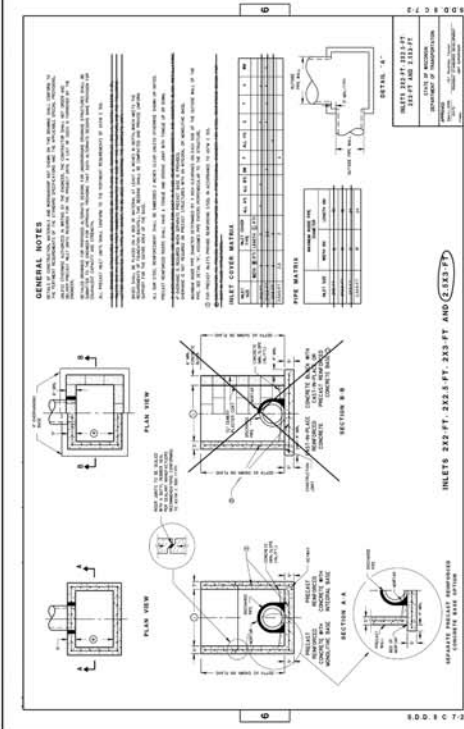


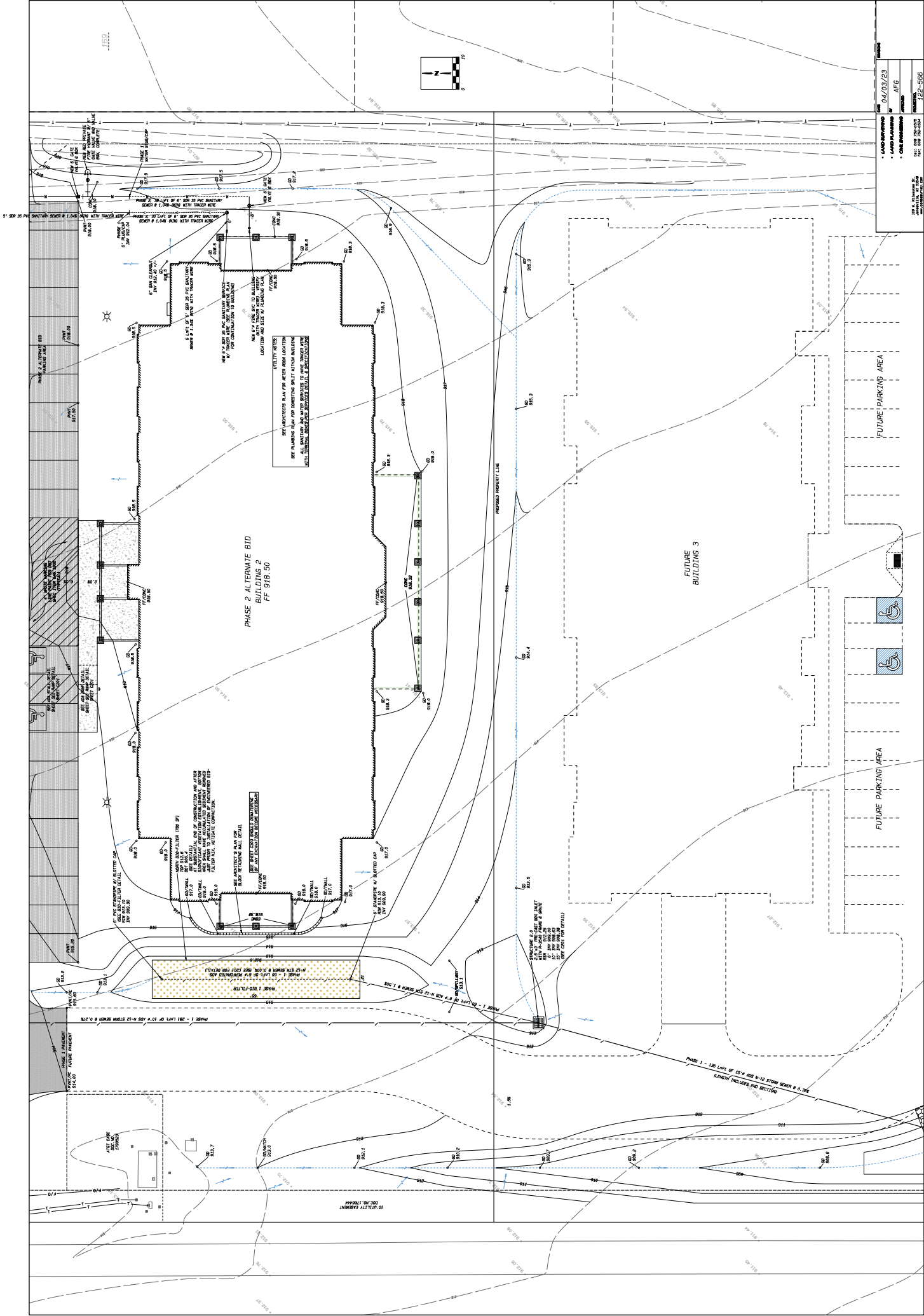
TABLE 1 - Recommended Pavement Section

Material	Thickness (in)	Wood Spacing (in)
Bituminous Upper Layer	1.75	1.75
Bituminous Lower Layer	1.75	2.25
Concrete Base Course	10.0	10.0
Total Thickness	13.5	14.0

- NOTES**
- Minimum DOW Standard Specifications for Highway and Structure Construction, latest edition, including supplemental specifications, and Concrete and Asphalt Pavement Materials (C-900) Concrete and Asphalt.
 - Concrete and Asphalt Materials (C-900) Concrete and Asphalt.
 - Minimum Type 13 for 4-1/2" thickness, refer to Section 405 Table 405.2 of the Standard Specifications.
 - The top of the bottom of 1 inch. (RIG) for bottom part of the top row covered by 1/4 inch.

DATE: 04/03/23
 DRAWN BY: AFJ
 CHECKED BY: JSC

GENERAL NOTES AND DETAILS C201



DATE	04/03/23
BY	AFG
REVISION	REVISED
PROJECT	1689
SCALE	AS SHOWN
PROJECT NO.	2023-001
DATE	04/03/23
BY	AFG
REVISION	REVISED
PROJECT	1689
SCALE	AS SHOWN
PROJECT NO.	2023-001

UTILITY, GRADING & DRAINAGE PLAN (PHASE 1 ONLY, SOUTH) C307

PHASE 2 ALTERNATE BID
BUILDING 2
FF 918.50

FUTURE BUILDING 3

FUTURE PARKING AREA

FUTURE PARKING AREA

FUTURE PARKING AREA

PPR001 ON 200
JANUARY 11, 2023

PHASE 1 - 10' LIFT OF 10" X 12" STORM SEWER # 7.765
LENGTH INCLUDES END SECTION

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LENGTH INCLUDES END SECTION

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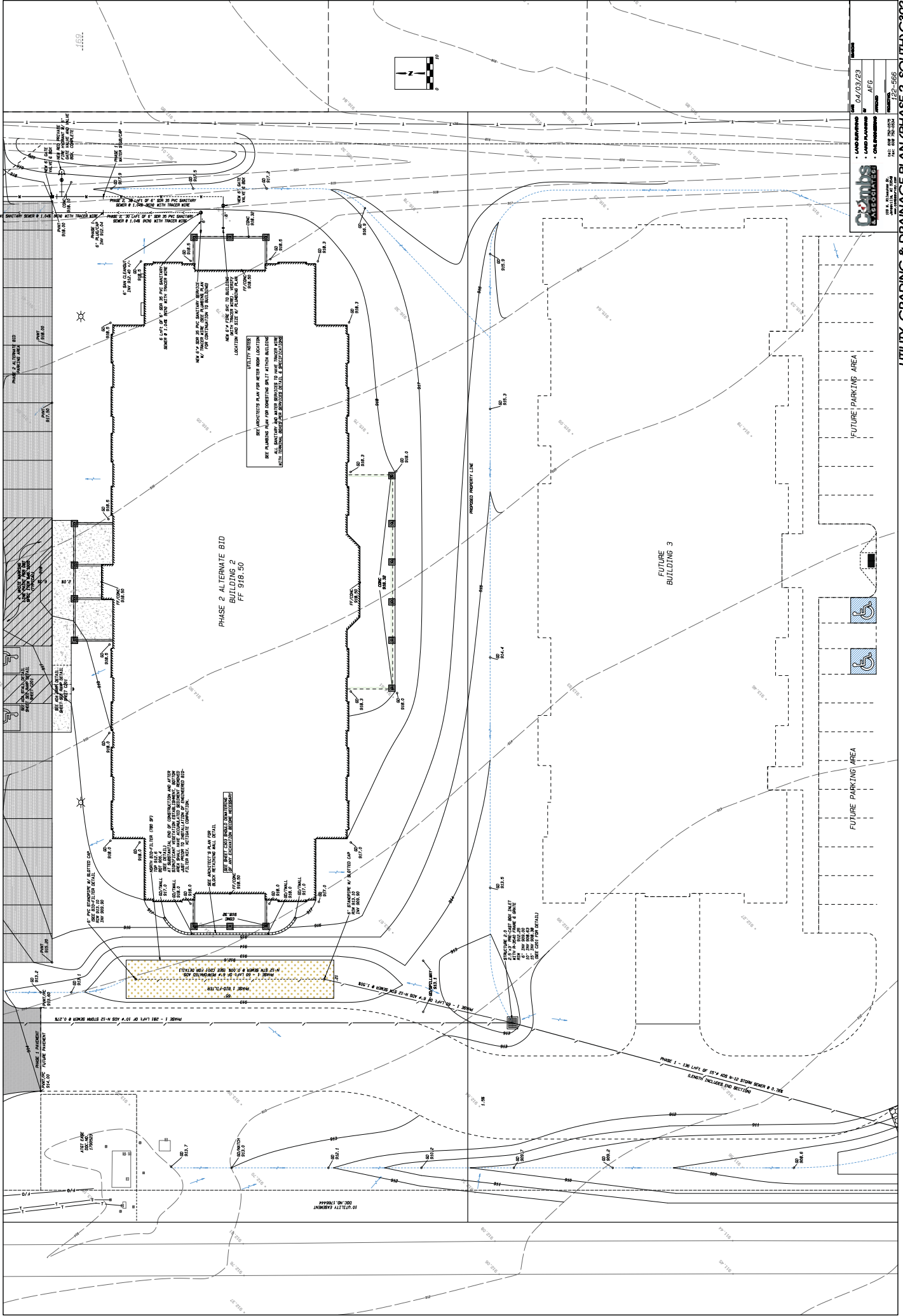
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PHASE 2 ALTERNATE BID
 BUILDING 2
 FF 918.50

FUTURE
 BUILDING 3

FUTURE PARKING AREA

FUTURE PARKING AREA

FUTURE PARKING AREA

SEE ARCHITECT'S PLAN FOR METER ROOM LOCATION
 SEE PLUMBING PLAN FOR CONNECTIONS WITHIN BUILDING
 WITH TRUCKS, TRAILERS AND EQUIPMENT TO BE SPECIFICALLY
 IDENTIFIED.

SEE ARCHITECT'S PLAN FOR METER ROOM LOCATION
 SEE PLUMBING PLAN FOR CONNECTIONS WITHIN BUILDING
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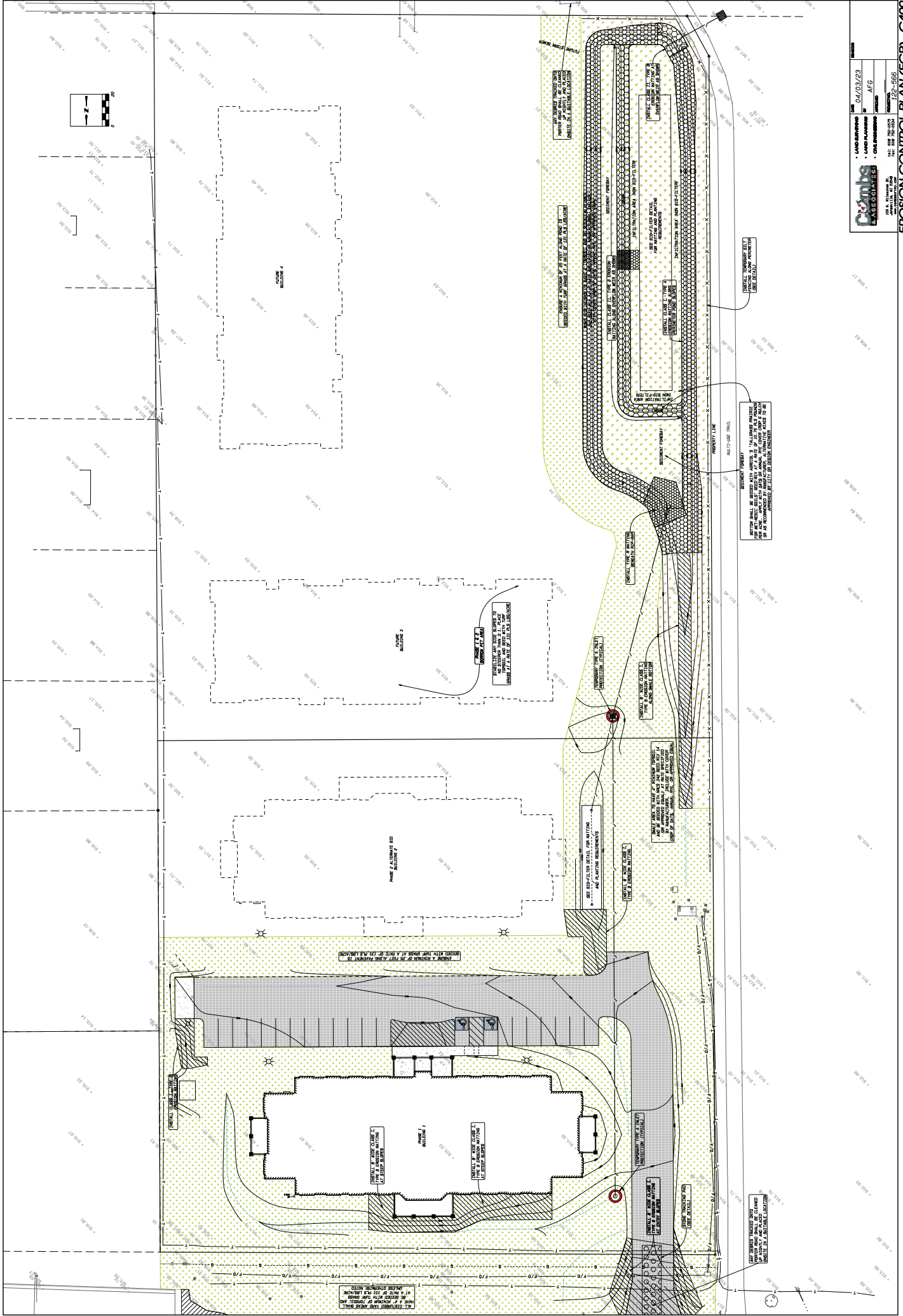
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PAPER: 11 ON 200
 JUNE 2018 11111111

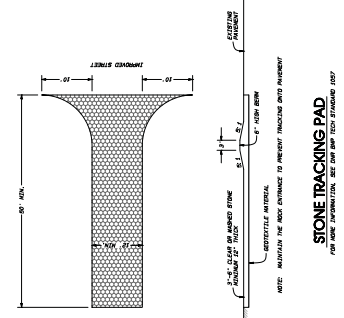
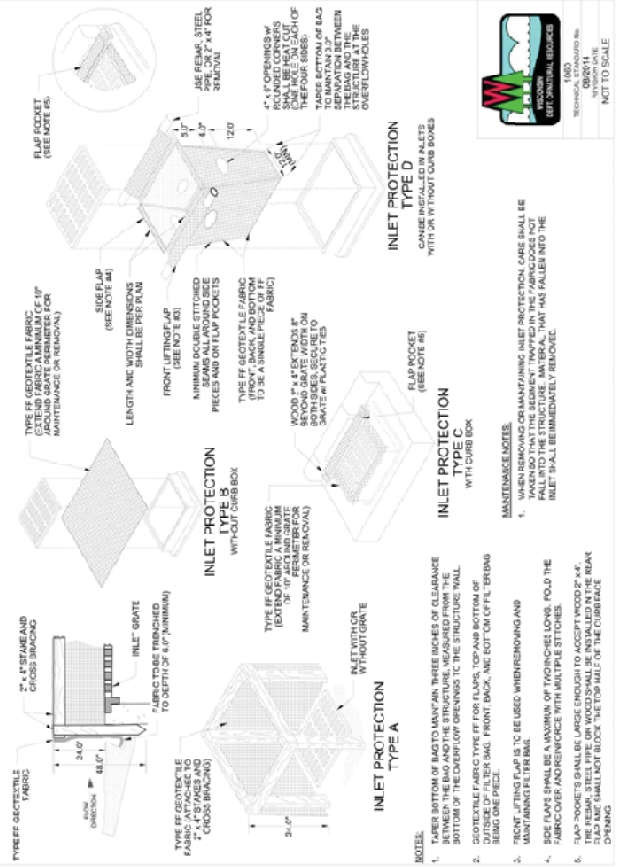


Combs
ENGINEERS

DATE: 04/03/23
PROJECT: AFG
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

EROSION CONTROL PLAN (ECP) C400

FIGURE 1. INLET PROTECTION TYPES A, B, C AND D

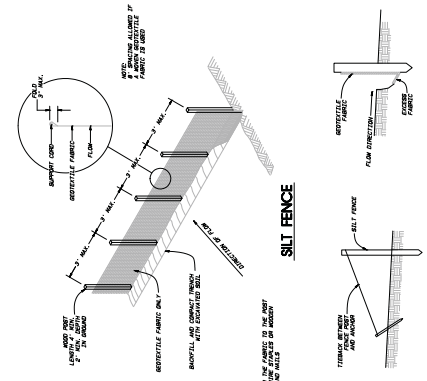
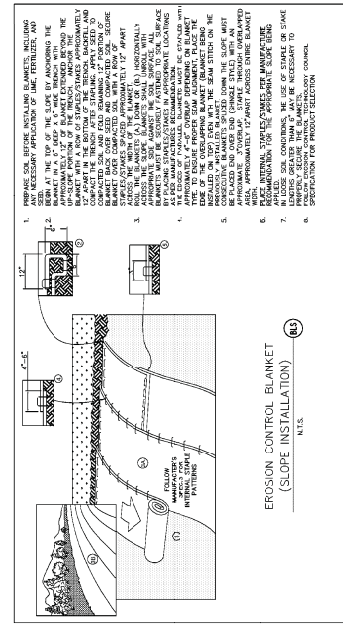


MAINTENANCE

- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPED IN THIS FABRIC FROM FALLING INTO THE INLET. IT SHALL BE IMMEDIATELY REMOVED.
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CONSTRUCTION SEQUENCE

- INSTALL CONSTRUCTION ACCESS/STAIRS.
- INSTALL STONE TRAPPING PAD.
- INSTALL FABRIC.
- INSTALL CURB.
- INSTALL FLAP.
- INSTALL INLET PROTECTION.
- REMOVE CONSTRUCTION ACCESS/STAIRS.



GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION.
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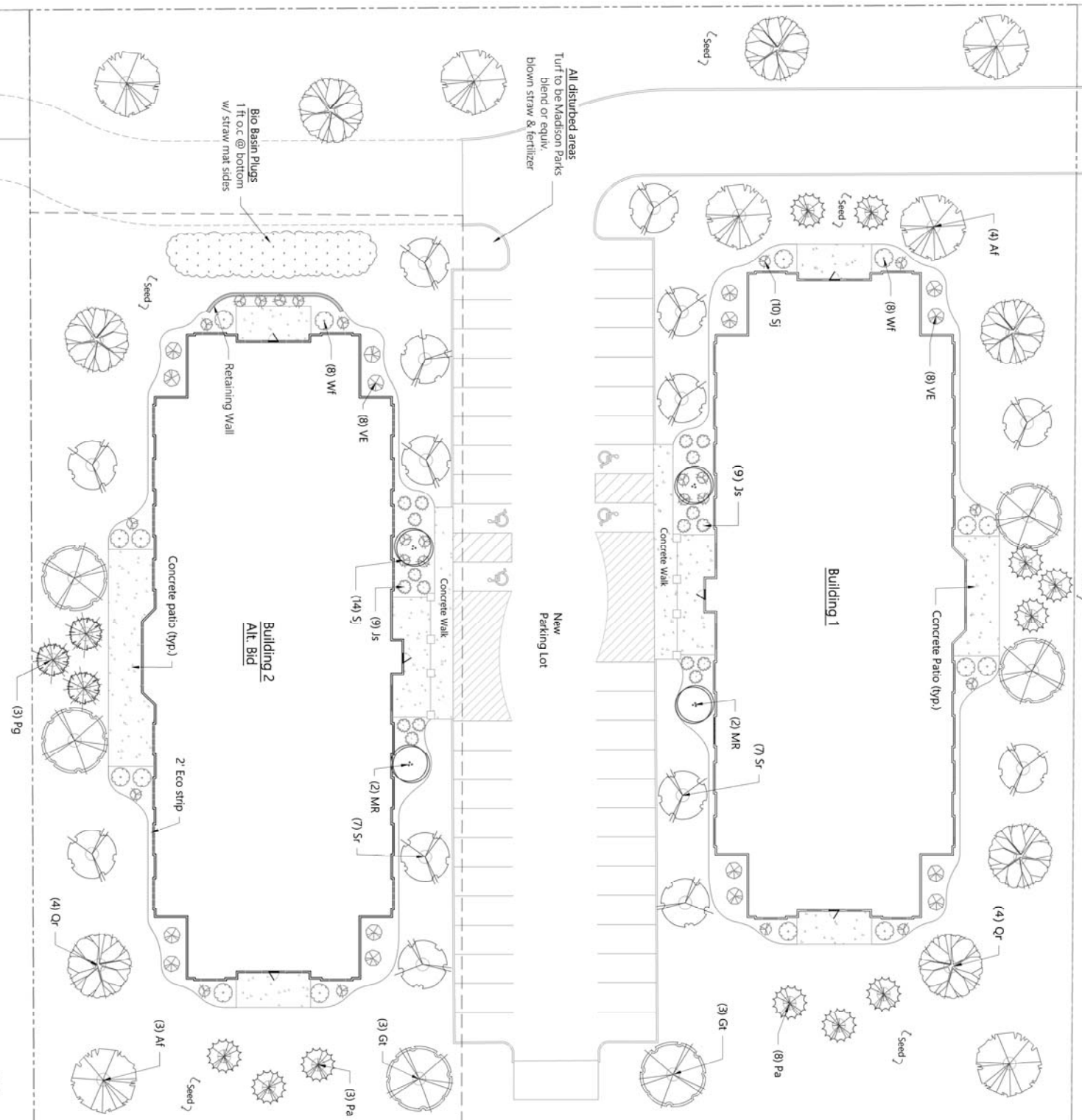
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- INSTALL FABRIC.
- INSTALL CURB.
- INSTALL FLAP.
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MAINTENANCE

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Note: All beds 15" washed stone over weec barrier w/ plastic edging unless noted otherwise. All tree rings dark brown, stained mulch.





**Sienna Crest
Plant Palette**



Marmo Maple



Shademaster Honeylocust



Red Jewel Crabapple



Red Oak



Ivory Silk Tree Lilac



Goldflame Spirea



Sienna Crest
Plant Palette



Emerald Triumph Viburnum



Wine & Roses Weigela



Mini Arcadia Juniper



Black Hills Spruce



Norway Spruce



SITE PLAN AND CONDITIONAL USE PERMIT APPLICATION – STAFF REPORT

Applications: SP-2023-0097, CUP-2023-0098

Applicants: Mary Leeder, Molly Leeder, DBA Subway

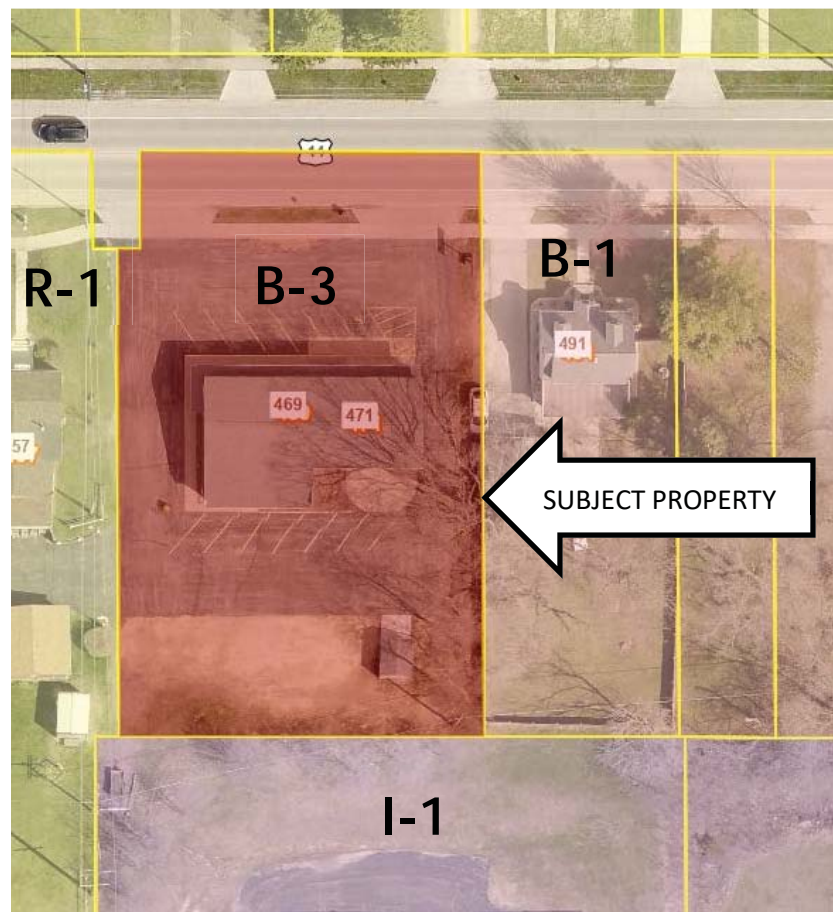
Parcel: 6-27-589

Location: 469/471 E Main

June 2, 2023

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: colette.spranger@ci.evansville.wi.gov or 608-882-2263



Description of request: The applicant is seeking approval of a site plan for an addition to an existing building, parking lot expansion, and other site improvements space a multi-tenant space located at 469 and 471 East Main Street. The applicants are also seeking Conditional Use Permit approval to operate a Subway restaurant franchise with a drive up window out of 471 East Main Street, per Sections 130-407 and 130-408 of the zoning ordinance.

This parcel, 6-27-148, is currently zoned B-3 Community Business.

Staff Analysis of Requests:

Conditional Use Permit for Indoor Commercial Entertainment: This would allow the applicants to run their restaurant out of the 471 East Main location. The use meets the requirements as outlined in Section 110-408 of the subdivision code, including parking requirements for both businesses on site and distance away from residentially zoned properties. The restaurant would operate from 7am to 10pm Monday through Saturday and from 9am to 9pm on Sunday. There have been concerns, particularly from neighbors, about traffic congestion due to increased traffic. City staff are less concerned on that front, as the traffic for this restaurant already exists on Main Street a half mile to the west. Main Street very rarely has backed up traffic that causes a true nuisance. Staff also believe the suggested site plan provided to the applicants aids in directing traffic within the site, directing it around the building. This will help minimize conflicts of all users accessing the site.

Conditional Use Permit for Indoor Vehicle Sales and Service: The applicant received a variance in February 2023 for the proposed pick-up window to have a stacking length of 40', opposed to the otherwise required 100'. The Board of Zoning Appeals considered the hardship to be that the building's position was not positioned to allow for such a length and that the use did not cause cars to stack while waiting for their purchase. The applicants estimate that in-vehicle customers spend less than 5 minutes at the site, as they have ordered and purchased ahead of their arrival.

However, conceptual plan at that time assumed the Subway restaurant would operate at 469 East Main, not 471 East Main on the other side of the building. The driveway along the 471 East Main side of the building is about 12 feet wide with a 2 foot grass strip along the property line. This driveway is 10 feet narrower than the 469 E Main that was considered by the Board of Zoning Appeals when making their decision regarding the pick-up window. For reference, the driveway where the pick-up window is at Subway's current site, which it shares with Casey's convenience store, is about 17 feet wide. Staff is unsure whether it is wise to allow a pick-up window – even one with a very short amount of idle time – in the way of an exit lane. Plan Commission will be asked to weigh in on this decision.

Site Plan: This is a site with an existing building that has served many uses over time. The applicants have submitted a site plan showing what is needed for them to operate their business. Staff comments address zoning requirements and other City policies/goals.

Zoning Compliance

The current site does not meet some of the minimum zoning requirements in the B-3 zoning district, specifically pavement setbacks, overall landscape ratio, and landscaping. As a redevelopment site, staff encourages any sort of improvement that brings the site closer or to zoning compliance. In general, non-conforming structures or attributes are allowed to continue as long as they are not expanded or rebuilt in a way the continues the non-conforming nature.

Landscape Surface Ratio: The landscape surface ratio on the current site is about 0.07. The B-3 zoning district requires a landscape surface ratio of 0.15. Most of the site is covered in impervious surface – either asphalt, building or gravel – and very little of the open ground is in good condition. Staff is suggesting improvements (grass, trees if desired) to the non-paved areas in the rear of the lot. In addition, a 10' x 30' landscape island adjacent to the

public sidewalk is recommended. This acts as a buffer between those using the public sidewalk and those driving in the parking area. There is a strip of grass along the east side yard lot line that should be maintained, in addition to the area around the existing pole sign. With these additions, staff estimates that the landscape surface ratio can be increased to 0.17.

Pavement Setbacks: The applicants' submitted site plan includes expanding the parking area toward the back of the lot in order to accommodate delivery trucks. Staff is asking for the minimum setback of 5 feet from the rear lot line for that paved area. On the street side lot lines, 10 feet of pavement setback is required. The added landscape area (described above) would address this deficiency. Five foot setbacks are also required along side yard lot lines. The west side yard lot line is within an easement with a neighbor for driveway access. The east side yard lot line has ~2 feet of pavement setback. (This may be larger – the applicants intend to survey the property after they understand what modifications the City will allow on the site.) City staff is not asking for modifications to either of these non-conforming areas; they may remain as they are.

Landscape Plan: If staff were to apply a literal interpretation of the City's landscape regulations to this site, it would require 1,300 landscape points, which can be interpreted as 26 trees. Instead, staff is recommended that landscape points be calculated based on the area of the expanded parking area. That calculation comes to about 220 landscape points – or 5 trees. (Note: Two (2) street trees are required in the right-of-way terrace area and do not count towards landscape points.)

Pedestrian Connections

Staff suggests site improvements that aid in City goals for walkability and improving pedestrian access. A painted walkway leading from the public sidewalk to the building is shown. Staff suggest using large planters as a barrier between the walkway and the existing parking spaces, both for protection and visual improvements. Ideally this walkway would include an accessible ramp at the existing curb around the building.

Signs

The applicants are welcome to use the existing pole sign on the site in its current location. If a new pole sign is desired, it will have to be at least 10 feet set back from the front property line and also be placed where it cannot impede visibility for drivers or pedestrians. Any new signs -- wall signs, monument signs, or similar -- will require a separate sign permit.

Plan Commission findings: Section 130-104(3) of the Municipal Code, includes criteria for evaluating the appropriateness of a new or changing land use.

- 1. Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of October 2022.

Staff Comment: The Comprehensive Plan lists a goal of retaining and expanding existing businesses within the City, as well as broad support for infill/redevelopment that does not require expansion of City utilities and other services.

- 2. Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's

zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.

Staff comment:

The parcel does not currently meet the minimum zoning requirements, including pavement setbacks, overall landscape ratio, and landscaping. Suggested changes to the site plan will improve this site and bring it closer into conformance with the B-3 zoning district. Beyond the zoning issues, this use is thoroughly consistent with other City plans and ordinances.

- 3. Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.

Staff Comment: The site plan submitted indicates significant additions of concrete in the yard area. The applicant is working with a landscaper to add plantings that will offset the additional hardscape. Conditions for landscaping are listed below in the staff recommended motion. No outdoor lighting is shown on the current site plan and none is planned at the moment. No change in grading or drainage is anticipated with the addition of the patio spaces. The applicant has also reached out to neighboring properties regarding this review and public hearing.

- 4. Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Comment: This part of East Main Street is planned for walkable business.

- 5. Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.

Staff Comment: The property is currently served by public utilities.

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the site plan do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

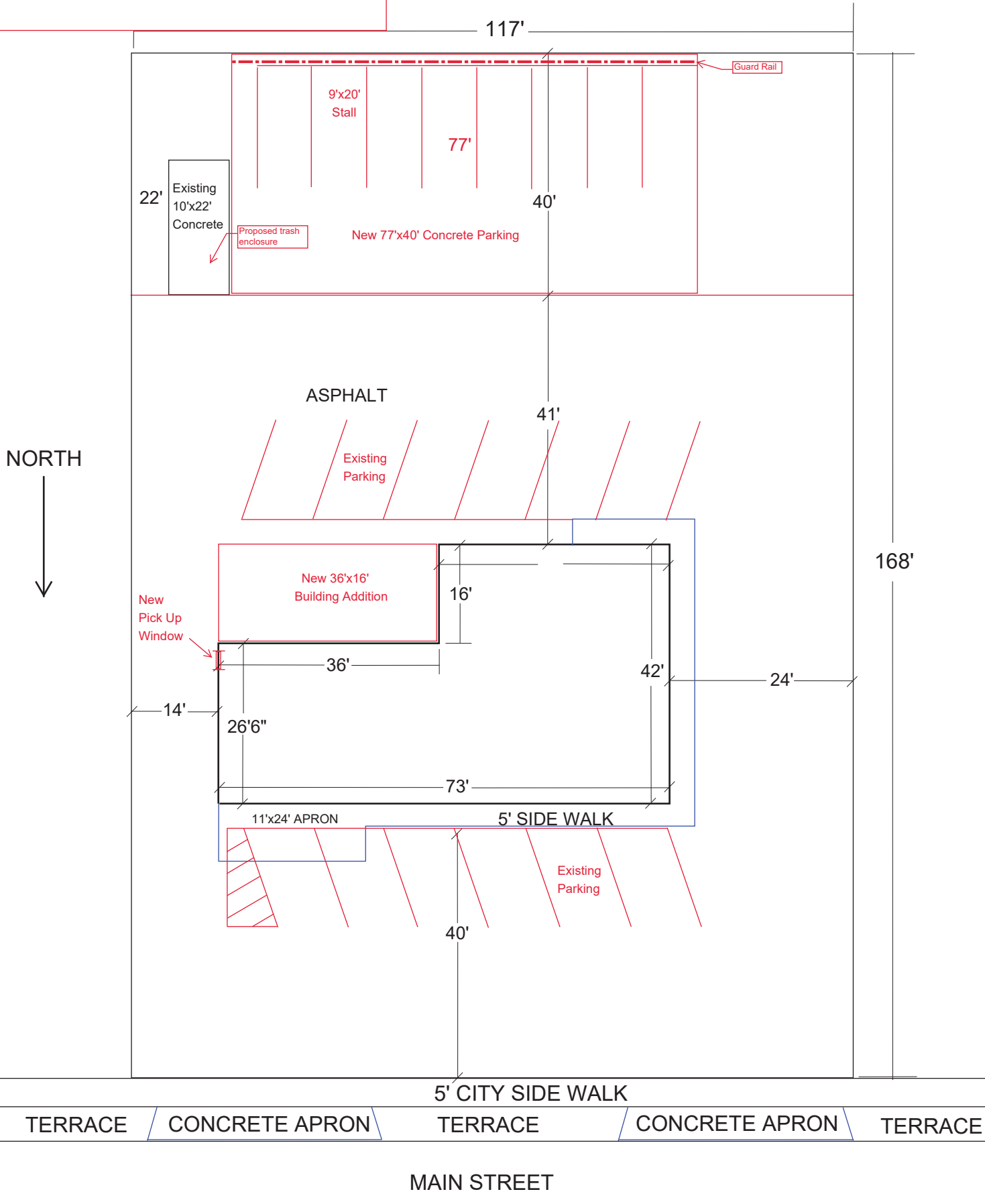
Plan Commission Motion

Motion to approve the site plan application for improvements on parcel 6-27-589 and a conditional use application to allow indoor commercial entertainment service and in-vehicle sales and service on parcel 6-27-148 per sections 130-104, 130-407, and 130-408 of the Municipal Code, and that the proposed use is consistent with the required standards and criteria of the Zoning Ordinance, and that the benefits in fact outweigh any and all potential adverse impacts, subject to the following conditions:

- 1. Two street trees are planted in East Main Street terrace and 220 points of landscaping are added to the site within a year of receiving an occupancy permit.*
- 2. All exterior lighting is dark sky compliant.*

3. *Applicant applies for any appropriate building permits from the City building inspector once the site plan and conditional use are approved.*
4. *Any deviations from approved plans will require a resubmittal of application and possibly fees or enforcement action.*
5. *Use cannot create a public nuisance as defined by local and state law.*
6. *Applicant records the conditional use permit and site plan with the Rock County Register of Deeds.*

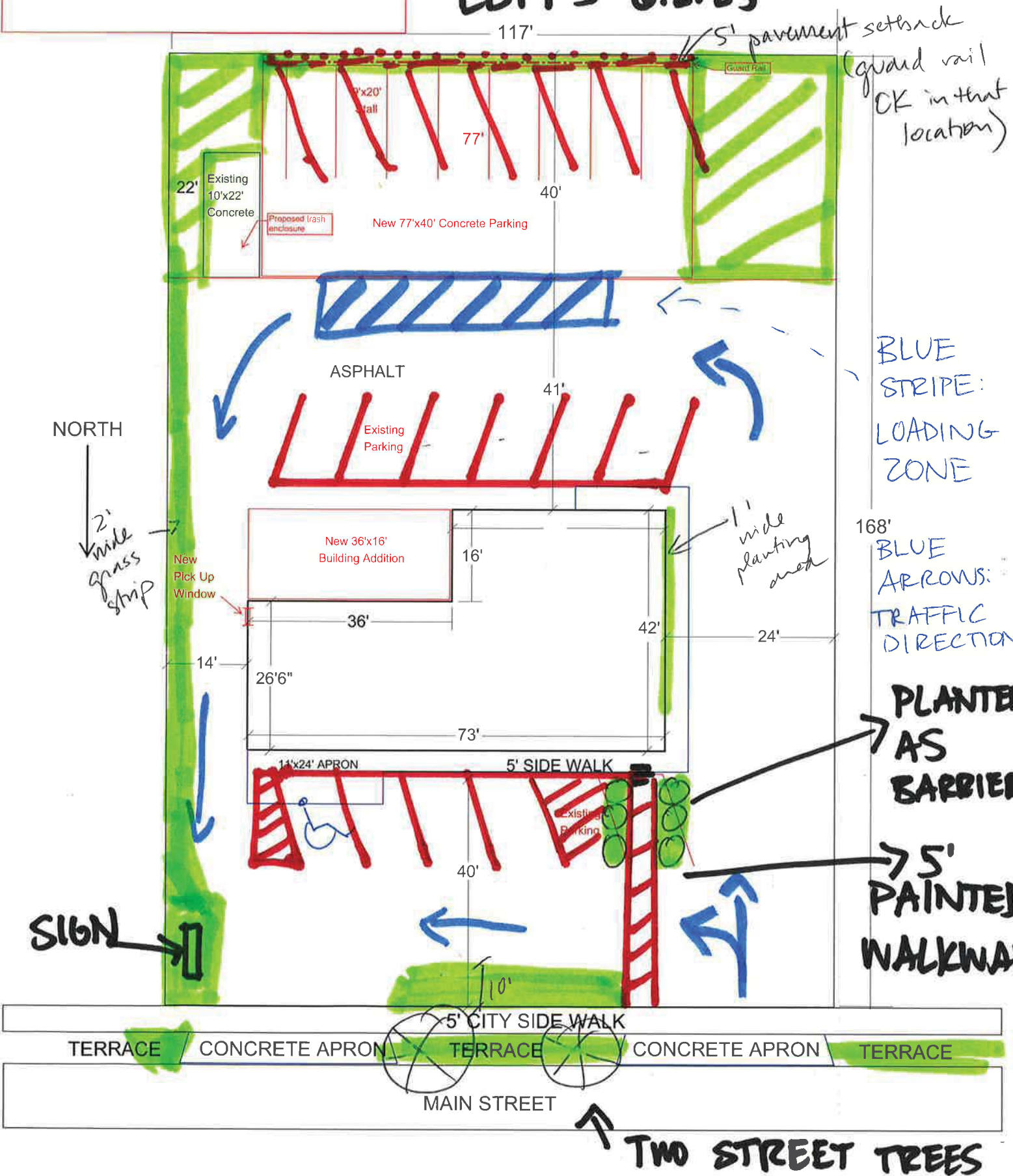
Subway
PROPOSED SITE PLAN
469 East Main Street, Evansville, WI 53536



Subway
PROPOSED SITE PLAN
469 East Main Street, Evansville, WI 53536

STAFF SUGGESTED EDITS 6.2.23

Paulson Kimball Construction, LLC
GENERAL CONTRACTOR



5' pavement setback
(guard rail OK in that location)

BLUE STRIPE:
LOADING ZONE

BLUE ARROWS:
TRAFFIC DIRECTION

PLANTER AS BARRIER!

5' PAINTED WALKWAY

TWO STREET TREES

TERRACE CONCRETE APRON TERRACE CONCRETE APRON TERRACE

5' CITY SIDE WALK

MAIN STREET

NORTH

SIGN

Existing 10'x22' Concrete

Proposed trash enclosure

New 77'x40' Concrete Parking

ASPHALT

Existing Parking

New 36'x16' Building Addition

5' SIDE WALK

Existing Parking

11'x24' APRON

40'

10'

117'

77'

40'

41'

16'

36'

26'6"

73'

42'

24'

168'

1' wide planting area

2' wide grass strip

New Pick Up Window

5' pavement setback

Guard Rail

BLUE STRIPE:
LOADING ZONE

BLUE ARROWS:
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1' wide planting area

2' wide grass strip

New Pick Up Window

5' pavement setback

Guard Rail



APPLICATION FOR PRELIMINARY LAND DIVISION – STAFF REPORT

Application No.: LD-2023-0099 **Applicant:** RM Berg Construction

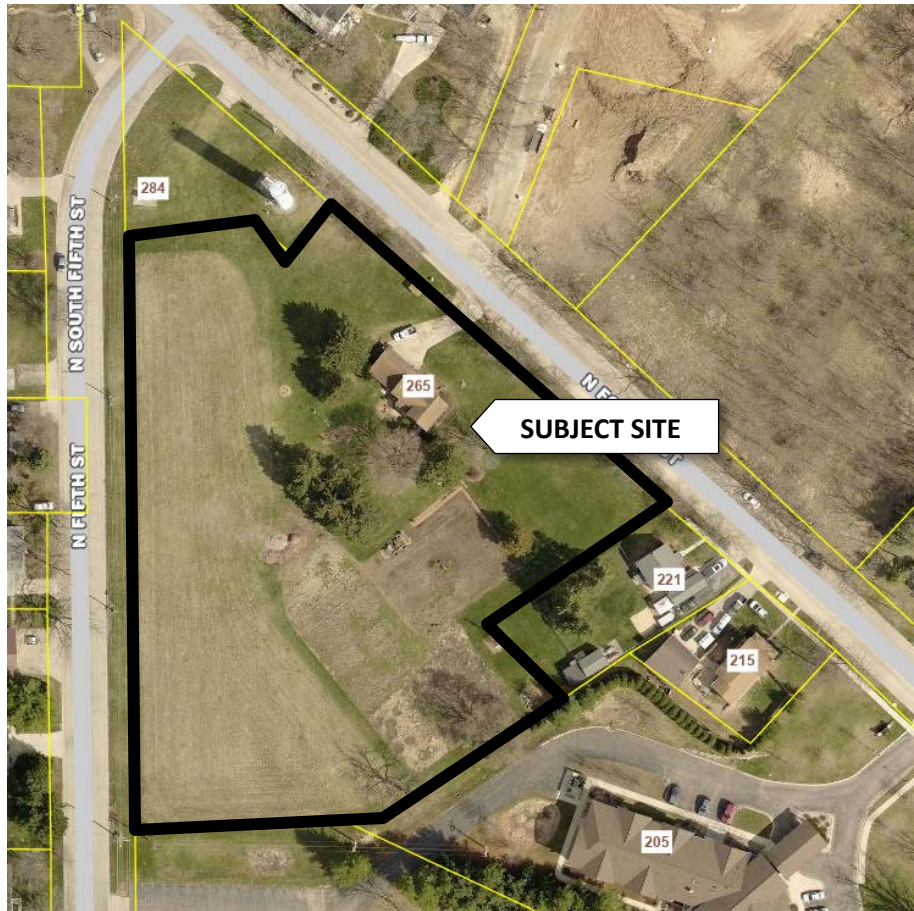
Parcel: 6-27- 930

Location: 265 N Fourth Street

June 2, 2023

Prepared by: Colette Spranger Community Development Director

Direct questions and comments to: colette.spranger@ci.evansville.wi.gov or 608-882-2263



Description of request: An application for a preliminary land division to create a subdivision on parcels 6-27-930 has been submitted for consideration by Plan Commission. The request is to create a subdivision (Historic Standpipe Point) on land between the northern ends of Fifth and Fourth Street. A public hearing was held in May 2023. The applicant has met with City staff to discuss expectations for development in this area. A copy of the Preliminary Plat is attached to this staff report.

Existing and Proposed Uses: The existing parcel is undeveloped. The residence at 265 N Fourth Street has been razed.

The proposed plat shows six single family residential lots along Fifth Street. These can remain in the current R-1 zoning. All the lots as presented comply with the bulk requirements of the R-1 zoning district.

Along Fourth Street there is one lot with a proposed zoning of B-1. This is a very versatile zoning district, which allows single-family homes by right and duplex, townhouse, multifamily, and other residential uses by conditional use. It is staff's understanding that the intention of this lot is for some sort of multifamily (non-single family) land use. Benefits of this zoning district include a prohibition on parking areas in the front setback areas for all principal buildings as well as architectural and landscaping design standards for residential buildings.

A public hearing was held at the May 2nd, 2023 Plan Commission meeting. There were concerns from several neighbors about the appropriateness of multifamily housing along Fourth Street.

As a note – the Evansville Standpipe, the historic water tower that is listed on both the State and National Register of Historic Places – is located on City property and is outside this propose preliminary plat. It will not be affected by this development.

General Comments:

1. **Park land dedication.** Park land dedication is a required improvement for any new subdivision. Sec. 110-192 of the City's subdivision ordinance states that such a dedicate area must be at least 2 acres in size. When this amount of land is not available, the developer will pay a fee in lieu of dedication for each single family lot and anticipated dwelling unit. This amount will be finalized in the developer agreement.
2. **Sidewalks.** Sidewalks will be required along Fourth and Fifth Streets. Timing of sidewalk construction will be outlined in the developer agreement.
3. **Stormwater management.** On-site stormwater will be handled by an outlot that will be dedicated to the public and managed by the City.
4. **Developer obligations:** The applicant is RM Berg Construction. The owner of that company has received approvals in last five years for four subdivision plats in the City, but has done so under separate LLCs. Three of these projects are in various states of completion and the City holds valid letters of credit for those. Another plat has received approvals but has not yet been recorded and the City has not yet received a letter of credit to cover the improvements outlined in the developer's agreement.
5. **Environmental checklist.** The applicant has submitted an environmental assessment checklist as required. There is nothing to indicate that additional information is required or that a more in-depth review is warranted.

6. **Traffic Circulation.** Primary access to the lot will be off existing City streets. No new public roads will be required to access these sites.
7. **Shared lot access.** The parcel adjacent to Fourth Street, with a suggested zoning of B-1, could be subdivided at a later date or developed all at once. City staff feel shared driveway access would be ideal along Fourth Street in this location.

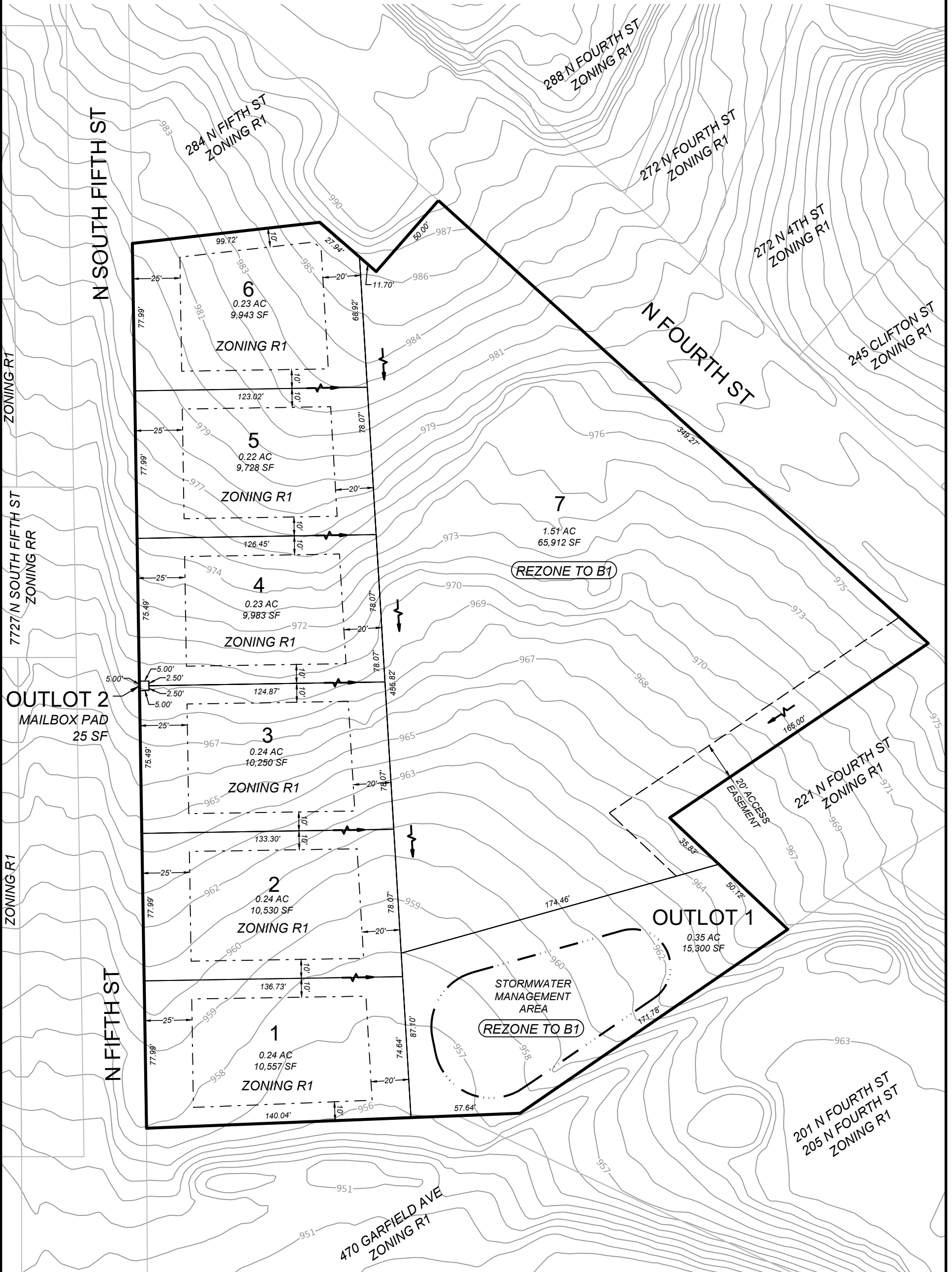
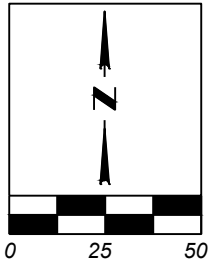
Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division is consistent with the Future Land Use Map of the Comprehensive Plan. The proposal also complies substantially with the design standards and environmental considerations as set forth in the Land Division Ordinance.

Staff Recommended Motion: *Motion to approve the Preliminary Plat Application for the Historic Standpipe Point subdivision, finding that is in the public interests and substantially complies with Section 110 of the Municipal Code, subject to the following conditions.*

1. *Applicant submits Final Plat application and Final Plat in compliance with Division 3 of Chapter 110 of the Municipal code.*
2. *Final Plat revised to adjust Outlot 1 and Lot 6 lot lines as suggested by Staff.*
3. *Outlot 1 to be labeled "Dedicated to Public for stormwater purposes."*
4. *Applicant submits Rezoning application for Lot 7.*
5. *Developer's Agreement completed and executed by both City and Developer along with final plat application.*
6. *Applicant submits Irrevocable Letter of Credit for City Engineer approval.*
7. *Developer pays required park and recreation land fees to City.*
8. *Applicant records a plat restriction, by adding suitable language to the face of the plat as approved by City Engineer, regarding prohibition of alterations of finished grades by more than six inches on utility easements and Stormwater drainage easements.*

PRELIMINARY SUBDIVISION PLAT HISTORIC STANDPIPE POINT

PART OF THE NE 1/4 OF SECTION 28, T.4N., R.10E.,
CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.



CLIENT: RM BERG GEN CONTRACTOR, INC
5 MAPLE STREET
EVANSVILLE, WI 53536

<p>109 W. MILWAUKEE ST JANESVILLE, WI 53548 www.combsurvey.com</p>	• LAND SURVEYING	DATE 05/19/23
	• LAND PLANNING	BY KMK
	• CIVIL ENGINEERING	PROJECT NO. 123-055
		CLIENT RM BERG



CONDITIONAL USE PERMIT APPLICATION – STAFF REPORT

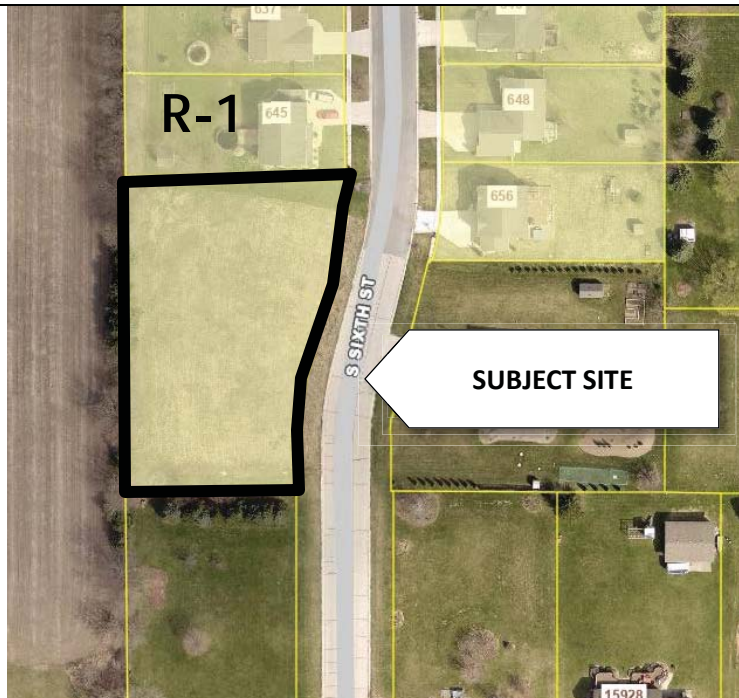
Applicant: Andy Phillips

Parcel: 6-27-508.11

Location: Lot 11, South Gate Estates (South Sixth Street)

June 2, 2023

Prepared by: Colette Spranger, Community Development Director
 Prepared for: **City of Evansville Plan Commission**



Description of request: The applicant is seeking approval of a conditional use permit on a parcel of land 6-27-508.11 (Tax ID 222 033022) located at the southwest corner of the City west of South Sixth Street, has been submitted for consideration by the Plan Commission. The request is to allow a two-unit duplex in the R-1 zoning district per section 130-324 of the Evansville Zoning Ordinance.

Staff Analysis of Request: The proposal meets many of the standards outlined in the Zoning Ordinances. The lot contains area within the mapped floodplain. The applicant anticipates working with a

surveyor to obtain a Letter of Map Revision based on Fill (LOMR-F) in order to assure the structure is completely out of the floodplain. A LOMR-F would be required even if single family home was proposed for construction. Approval of this application would allow a two-unit home to be constructed.

Site history: This lot was annexed into the City in 2018. At the time, the owner planned to build one single family home on the lot and had a Conditional Letter of Map Revision based on Fill (CLOMR-F) from FEMA. Prior to annexation, the owner had obtained permission from Rock County to fill the site, with the assumption that a dwelling unit served by private well and septic would be built. An annexation agreement contained terms for the developer to extend sewer and water mains to the end of the lot at their own expense. To date, that agreement has not been enforced and the deadlines within it have passed.

The lot was rezoned to R-1, the City's primary residential zoning district, after annexation. The staff report for rezoning noted that the lot was large enough for future land divisions and that a duplex could be constructed by conditional use permit. Duplex plans suggested by the applicant have a similar building footprint to those proposed in 2017/2018 by a previous owner.

In the five years that have passed since the lot was annexed, further investigation of city utilities has revealed that the sewer main is quite shallow in this area, being only 5 feet from the surface. The DNR requires at least 4 feet of depth for sewer mains. There is a good possibility that extending sewer mains to the south end of the lot would violate DNR standards. Additionally, private pumps would be required to serve a dwelling unit with a basement. (And due to a variety of site characteristics, the staff is requesting there be no basements in this location.) More thought is needed to address this issue, as extending the sewer main south in its current position to Croft Road may well result in the pipe sticking out the ground.

Since this lot can be served with City utilities via laterals, and given the likely long amount of time between now and when local septic systems may fail, the City Engineer believes forgoing the main extensions at this time is an appropriate response in order to allow development. Future lot divisions and additional dwelling units on this or any new lot will not be allowed until the mains can be properly extended further south.

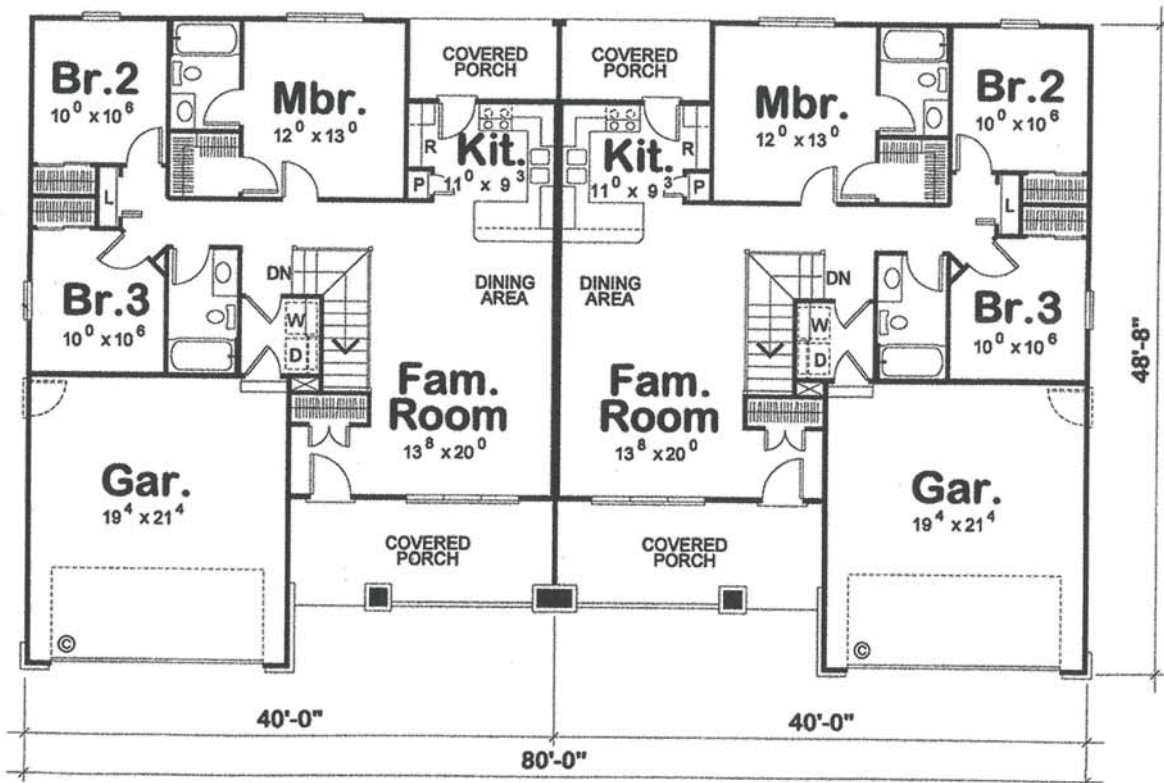
Required Plan Commission findings for Conditional Use Permit request: Section 130-104 (3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. **Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of November 2015.
Staff Comment: The Comprehensive plan indicates a desire to promote infill development where City services are available and to provide a variety of housing types.
2. **Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.
Staff comment: The proposed construction is consistent with the City's zoning code and other plans, programs, and ordinances.
3. **Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.
Staff Comment: No adverse effect is anticipated on nearby property. Development near the floodplain, even with a LOMR-F, puts more risk on this particular structure as opposed to nearby properties.
4. **Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
Staff Comment: two family dwellings are an appropriate use in the R1 district.
5. **Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.
Staff Comment: Sewer and water mains are located under South Sixth Street near the northern end of the property. City Engineer feels that extending two laterals to serve the duplex from this location is appropriate, given the issues with the sewer pipe and area topography as the land descends toward Croft Road.

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the conditional use do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

Staff recommended motion for CUP: *The Plan Commission approves the issuance of a Conditional Use Permit to construct a Two Family Dwelling per section 130-324 on parcel of land 6-27-508.11 (Tax ID 222 041011), finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:*

- 1. Applicant fills out City of Evansville Floodplain application and receives a LOMR-F for the property from FEMA.*
- 2. Further development and subdivision of parcel 6-27-508.11 is contingent on City sewer and water mains being extended to Croft Road.*
- 3. Building plans, site grading, and stormwater management plan approved by City Engineer.*
- 4. Curb and gutter and sidewalk shall be built to city standards the entire length of the lot.*
- 5. Upon completion of construction of any residential buildings, three street trees shall be added.*
- 6. Use cannot create a public nuisance as defined by local and state law.*
- 7. Conditional Use Permit is recorded with the Rock County Register of Deeds.*



16-456
Crull

Federal Emergency Management Agency

Washington, D.C. 20472

July 17, 2017

THE HONORABLE J. RUSSELL PODZILNI
CHAIRMAN, BOARD OF SUPERVISORS,
ROCK COUNTY
51 SOUTH MAIN STREET
JANESVILLE, WI 53545

CASE NO.: 17-05-3907C
COMMUNITY: ROCK COUNTY, WISCONSIN
(UNINCORPORATED AREAS)
COMMUNITY NO.: 550363

DEAR MR. PODZILNI:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map. Using the information submitted and the effective NFIP map, our determination is shown on the attached Conditional Letter of Map Revision based on Fill (CLOMR-F) Comment Document. This comment document provides additional information regarding the effective NFIP map, the legal description of the property and our comments regarding this proposed project.

Additional documents are enclosed which provide information regarding the subject property and CLOMR-Fs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document. If you have any questions about this letter or any of the enclosures, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Sincerely,



Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration

LIST OF ENCLOSURES:

CLOMR-F COMMENT DOCUMENT

cc: Mr. Adam Griffin



Federal Emergency Management Agency

Washington, D.C. 20472

CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	ROCK COUNTY, WISCONSIN (Unincorporated Areas)	A portion of Lot 11, South Gates Estates, as shown on the Plat recorded in Volume 32, Pages 634 and 635, in the Office of the Register of Deeds, Rock County, Wisconsin The portion of property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 550363	
AFFECTED MAP PANEL	NUMBER: 55105C0014E DATE: 9/16/2015	
FLOODING SOURCE: UNNAMED TRIBUTARY TO ALLEN CREEK		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 42.767086, -89.318241 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

COMMENT TABLE REGARDING THE PROPOSED PROPERTY (PLEASE NOTE THAT THIS IS NOT A FINAL DETERMINATION. A FINAL DETERMINATION WILL BE MADE UPON RECEIPT OF AS-BUILT INFORMATION REGARDING THIS PROPERTY.)

LOT	BLOCK/ SECTION	SUBDIVISION	STREET	OUTCOME WHAT WOULD BE REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
11	--	South Gate Estates	--	Portion of Property	X (unshaded)	902.1 feet	--	904.2 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION
PORTIONS REMAIN IN THE FLOODWAY
CONDITIONAL LOMR-F DETERMINATION

STATE LOCAL CONSIDERATIONS

This document provides the Federal Emergency Management Agency's comment regarding a request for a Conditional Letter of Map Revision based on Fill for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the proposed described portion(s) of the property(ies) would not be located in the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood) if built as proposed. Our final determination will be made upon receipt of a copy of this document, as-built elevations, and a completed Community Acknowledgement form. Proper completion of this form certifies the subject property is reasonably safe from flooding in accordance with Part 65.5(a)(4) of our regulations. Further guidance on determining if the subject property is reasonably safe from flooding may be found in FEMA Technical Bulletin 10-01. A copy of this bulletin can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/mit/tb1001.pdf>. This document is not a final determination; it only provides our comment on the proposed project in relation to the SFHA shown on the effective NFIP map.

This comment document is based on the flood data presently available. The enclosed documents provide additional information regarding this request. If you have any questions about this document, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LEGAL PROPERTY DESCRIPTION (CONTINUED)

COMMENCING at the Northwest Corner of said Lot 11; thence S89°27'23"E along the North line of said Lot, a distance of 62.62 feet; thence S0°32'37"W a distance of 20.41 feet to the PLACE OF BEGINNING for the land to be herein described; thence S89°27'23"E parallel with said North line a distance of 24.53 feet; thence S6°12'52"E a distance of 147.09 feet; thence N88°52'23"W a distance of 23.62 feet; thence N11°57'33"W a distance of 84.16 feet; thence N0°32'37"E a distance of 63.66 feet to the PLACE OF BEGINNING.

PORTIONS OF THE PROPERTY REMAIN IN THE FLOODWAY (This Additional Consideration applies to the preceding 1 Property.)

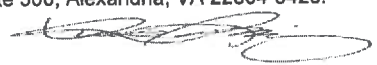
A portion of this property is located within the Special Flood Hazard Area and the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination/Comment Document while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Modifications to the NFIP regulatory floodway must be accepted by both the Federal Emergency Management Agency (FEMA) and the community involved. Appropriate community actions are defined in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Map Assistance Center toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/about/regoff.htm>.

CONDITIONAL LOMR-F DETERMINATION (This Additional Consideration applies to the preceding 1 Property.)

Comments regarding this conditional request are based on the flood data presently available. Our final determination will be made upon receipt of this Comment Document, certified as-built elevations and/or certified as-built survey. Since this request is for a Conditional Letter of Map Revision based on Fill, we will also require the applicable processing fee, and the "Community Acknowledgement" form. Please note that additional items may be required before a final as-built determination is issued.

This letter does not relieve Federal agencies of the need to comply with Executive Order 11988 on Floodplain Management in carrying out their responsibilities and providing Federally undertaken, financed, or assisted construction and improvements, or in their regulating or licensing activities.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.



Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

CONDITIONAL LETTER OF MAP REVISION BASED ON FILL COMMENT DOCUMENT

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

STATE AND LOCAL CONSIDERATIONS (This Additional Consideration applies to all properties in the CLOMR-F COMMENT DOCUMENT)

Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Map Information eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, Engineering Library, 3601 Eisenhower Ave Ste 500, Alexandria, VA 22304-6426.

A handwritten signature in black ink, appearing to read "Luis V. Rodriguez".

Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration



ROCK COUNTY GOVERNMENT
Planning & Development Agency

INTEROFFICE MEMORANDUM

TO: Rock County Planning and Development Committee

FROM: Planning & Development Agency Staff

SUBJECT: Shoreland Conditional Use Permit #2017 005 – R & K & Sons Construction
(Revised Application)

DATE: November 3, 2017

Summary:

The Rock County P&D Staff has received request from R&K & Sons Construction for a Shoreland Conditional Use Permit (CUP) for filling and grading activities associated with the filling of a portion of a lot to prepare for the construction of a new residence. The Conditional Use Permit is required because the project will involve greater than forty cubic yards of fill and/or greater than one thousand square feet of disturbance within the Shoreland Zoning District. The project is also within the Floodplain Zoning District of an unnamed tributary to Allen Creek. The vacant property is located in part of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$, Section 33, Union Township directly south of 645 S Sixth Street, Evansville, WI, tax parcel 6-20-390.11.

NOTE: The owner previously submitted a Conditional Use Permit application, which was denied by the Committee in August 2017. This new application includes a revised plan intended to address the neighbor's and the Committee concerns with the previous plan. The applicant has also provided an additional narrative to support the application. The staff report for the first application has been revised below where applicable to incorporate the provisions of the new plan.

The purpose of this project is to add fill to the lot in order to create a building site that is out of the Floodplain. There are specific standards in the Floodplain Zoning Ordinance which dictate how this process must occur, both from a physical standpoint on the land and from administrative standpoint. On the land, the area must be filled to an elevation at least two feet above the regional flood elevation and the fill must be contiguous to land outside the floodplain. In other words, a developer cannot simply create highpoints to build on without "dryland" access to them.

Once the fill plans are permitted the project may proceed. The type, characteristics and compaction of the soil, both on site and added, must be closely documented and certified when the site work is completed. The final elevation of the land will make it reasonably safe from surface water flooding and the physical characteristics of the fill will make it reasonably safe from subsurface water impacts. Each are required in order to remove the land from the Floodplain. Following the site work, a formal amendment to the Floodplain Zoning Maps will be required, which is an action item by the P&D Committee and the County Board. A Conditional Letter of Map Revision based on Fill (CLOMR-F) has been approved by FEMA (enclosed for reference), which is the first step in the administrative approval of a project like this. Since the first public hearing for this proposal, the Town of Union has granted a variance for the front yard setback standard to allow the proposed residence to be built closer to the road than the required 50 feet.

A copy of the construction plans are included in the packet for reference and larger copies will be available at the meeting.

Per Section 4.214(3)(B) of Shoreland Zoning Ordinance, the Planning & Development Committee shall state in writing the grounds for granting or denying a conditional use permit. This memo and recommended Conditions of Approval are intended to provide a basis for the decision.

Section 4.214(3)(C) references "Standards Applicable to All Conditional Uses." In deciding a conditional use permit application, the Committee shall evaluate the effect of the proposed use upon (ordinance language is in *italics* below and staff comments are in standard **bold font**):

1. *The maintenance of safe and healthful conditions.* **This standard can generally be met if all other permitting requirements are met.**
2. *The prevention and control of water pollution including sedimentation.* **Erosion control measures must be established and maintained during construction to minimize runoff. The proposed Conditions of Approval (below) further address this evaluation factor.**
3. *Compliance with local floodplain zoning ordinances and opportunity for damage to adjacent properties due to altered surface water drainage.* **The owner is aware of the importance of compliance with floodplain zoning requirements as described above. Surface water drainage should not be altered in this project, but the amount of runoff may be increased due to increase impervious surface on an otherwise undeveloped parcel. In the plans revised 10/19/17, the increase in impervious surface will be partially mitigated by creating a shallow excavated area on the south side of the lot to encourage infiltration. Down spouts from the house will be routed to this area where practicable along with site grading.**
4. *The erosion potential of the site based on the degree and direction of slope, soil type and vegetative cover.* **Erosion potential will be minimized through the use of management practices and competition of construction and stabilization in a timely fashion.**
5. *The location of the site with respect to existing or future access roads.* **No additional future access roads are planned in this area. It is within an existing developed area.**
6. *The need of the proposed use in a shoreland location.* **In order for this lot to be developed fill is required in order to flood proof the residential structure. Without fill, the property could not be built on when considering other zoning standards (such as road setbacks) and an area for a Private Onsite Wastewater Treatment System (POWTS).**
7. *Its compatibility with uses on adjacent land.* **The property is currently zoned Rural Residential by the Town of Union according to the information provided to the P&D Agency, which is consistent with land uses in three directions. The land use to the west is agricultural.**
8. *The amount of liquid and solid wastes to be generated and the adequacy of the proposed disposal system.* **A POWTS approval will be required from the Rock County Health Department.**
9. *Location factors under which:*
 - a. *Domestic uses shall be generally preferred;* **This standard can generally be met.**
 - b. *Uses not inherently a source of pollution within the area shall be preferred over uses that are or may be a pollution source;* **This standard can generally be met.**
 - c. *Use locations within an area tending to minimize the possibility of pollution shall be preferred over a use locations tending to increase that possibility.* **This standard can generally be met.**

Recommendation(s) or Action(s):

Agency Staff recommends approval of the Shoreland Conditional Use Permit #2017 005 with the following conditions for the Committee to consider:

1. The characteristics of existing soils and deposition of fill must be documented, inspected and certified according to the latest revisions of FEMA Technical Bulletin 10-01, titled "Ensuring That Structures Built on Fill In or Near Special Flood Hazard Areas Are Reasonably Safe From Flooding."
2. The permit holder shall comply with all necessary steps to complete the Flood Plain Zoning Map Amendment process found in the Rock County Flood Plain Zoning Ordinance, including but not limited to, as-built certifications of the soils and surface elevations, submission of the LOMR application to FEMA and obtaining final approval of the map amendment by the Rock County Board.
3. The project shall be completed according to the approved construction plans, revised 10/19/17.
4. A deed restriction shall be recorded at the Register of Deeds which documents the fact that the final topography of the Lot shall not be altered in the future other than for the minimum necessary related to maintenance or replacement of the private onsite wastewater treatment system.
5. The smallest amount of bare ground shall be exposed for as short a time as feasible and re-stabilized in a timely fashion with approved Best Management Practices.
6. Any topsoil piles that will remain on site shall be shaped and seeded to provide vegetative cover as soon as practical following placement. Perimeter sediment control measures shall also be installed around the piles and on the site in general.
7. All other necessary permits or approvals for the project shall be obtained prior to starting construction.
8. This permit expires one year from the date of Committee approval unless approved otherwise.



October 27, 2017

LEGAL NOTICE

Notice is hereby given that the Rock County Planning & Development Committee will hear a request from R&K & Sons Construction for a Shoreland Conditional Use Permit for filling and grading activities associated with the filling of a portion of a lot to prepare for the construction of a new residence. The Conditional Use Permit is required because the project will involve greater than forty cubic yards of fill and/or greater than one thousand square feet of disturbance within the Shoreland Zoning District. The project is also within the Floodplain Zoning District of an unnamed tributary to Allen Creek. This request is being made in compliance with Section 4.208(2) (A) and 4.213(3) of the Rock County Shoreland Zoning Ordinance.

The property is located in part SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 33, South Gate Estates Lot 11, Union Township, Parcel 6-20-390.11. The applicant's address is 7030 N Tolles Rd, Evansville, and the general address for this proposed project is the lot directly south of 645 S. Sixth Street, Evansville, WI.

The Public Hearing will take place in the Courthouse Conference Center, second floor, east wing of the Rock County Courthouse, 51 S. Main Street, Janesville, WI at 9:00 AM on Thursday, November 16, 2017.

Please contact the Rock County Planning & Development Agency at 608-757-5587 with any questions or to review the application materials.

Andrew Baker
Senior Planner – Rock County Planning, Economic & Community Development

ROCK COUNTY PLANNING, ECONOMIC & COMMUNITY
 DEVELOPMENT AGENCY
 51 SOUTH MAIN STREET
 JANESVILLE, WI 53545
 TEL: (608) 757-5587
 FAX: (608) 757-5586
 WEB: WWW.CO.ROCK.WI.US



AGENCY USE ONLY	
Application No.	<u>CUP2017005</u>
Date Received	<u>10/22/17</u>
Received by	<u>AMB</u>

*Fee Paid
10/27/17*

SHORELAND CONDITIONAL USE PERMIT APPLICATION

APPLICANT INFORMATION

OWNER INFORMATION

(1) Name	R & K & Sons Construction			Telephone	608-289-7640		
Address	7030 N. Tolles Rd.	City	Evansville	State	WI	Zip	53536

PROPERTY INFORMATION

LOCATION

Subdivision Name	South Gate Estates	Lot & Block	Lot 11
Lot Size	40,308 sf	Present Use	Residential
Present Improvements on Land	Vacant		
Proposed Use or Activity	Filling to remove from FEMA floodplain to create buildable area.		

PROJECT INFORMATION

Submit site plan (scale not less than 1" = 200') indicating: area to be filled, graded or dredged, existing and proposed structures, and erosion control measures

Amount of fill in cubic yards	Approximately 780 <u>600</u>
Amount of disturbed area (square feet)	18,000 <u>30,000</u>
Planned Completion Date	Summer <u>Fall 2017</u> (depending on County FEMA review timing)

Any change in the approved permit requires review by this agency.
 Any change without prior approval violates the ordinance and will subject applicant to legal action
 (I/We) hereby request a Conditional Use Permit as authorized in Section 4.213 of the Rock County Zoning Ordinance for: Shorelands.

SIGNATURE

Property Owner _____ OR Agent/Surveyor Adam Griffin, Combs & Associates

Approved by the Rock County Planning & Development Committee on _____
 Committee Designee _____ Date _____



- Land Surveying
- Land Planning
- Civil Engineering

November 3, 2017

Andrew Baker, Senior Planner-Code Enforcement
Rock County Planning & Development

Re: Ralph Crull's Lot 11 of South Gate Estates, Evansville, WI

Dear Mr. Baker,

Below is a narrative regarding the proposed activities for Mr. Crull's vacant residential lot in Evansville.

Lot 11 of South Gate Estates was platted in 2004. Prior to that, FEMA had published a FIRM in 1983 which shows the subject area in a "zone C", which is defined as an "area of minimal flooding". In 2008, FEMA remapped the area, showing the subject area as a "zone A", which is an unstudied area, even though the map now shows a shaded flood zone over a majority of the lot. After FEMA remapped again in 2015, the area is now studied and shown as a "zone AE" with a flood elevation of 902.2. The flood fringe and floodway line are coincident, and are shown over approximately 25% of the lot. As filling is not allowed in a floodway, this essentially creates a partially unbuildable platted residential lot. Furthermore, a topography survey performed by Combs & Associates in 2017 shows that in fact, the flood fringe encroaches FURTHER into the lot, making it even more difficult to build on. As FEMA and local ordinances sometimes allow filling in flood fringe areas, an opportunity may exist for creating a buildable lot consistent with surrounding lots, even though historic flood mapping presents difficulties. As such, the owner would like to fill part of the flood fringe area on the north side of the lot, while excavating material from the south side in order to compensate for any potential flood volume loss. Upon completion and application to FEMA, part of Lot 11 would be officially removed from the flood zone. Note that no filling will occur within the floodway area as shown on the 2015 FIRM.

The area surrounding Lot 11 was studied, ponds and drainage improvements were designed by others, and constructed to required standards. Upon development, the Lot 11 southerly downspouts would be routed to the newly excavated southerly area, while the northeast downspout would be routed to 6th street, and the northwest downspout routed to the existing northerly swale.

I don't believe FEMA maps account for the proposed filling & cutting area, since those areas are not mapped in a flood zone according to FEMA's map. In other words, filling in the flood fringe area would not affect FEMA's calculation of the Base Flood Elevation. I compute that we would be adding 57 cy of fill **within the surveyed flood fringe area only (not FEMA's mapped flood zone), and only up to the BFE of 902.2.** The excavated southerly area as shown has a volume of 331 cy **below the BFE of 902.2** for a net difference of adding 274 cy of flood storage volume. I'd be hesitant to show any deeper excavation here, since this would create ponded water which can't escape to FEMA's flood zone via surface flow. The only means of escape would be infiltration. Neighbors may be concerned if we created a mosquito habitat.



- Land Surveying
- Land Planning
- Civil Engineering

To specifically address items 1-9 in the August 15 Interoffice Memorandum. My responses are:

- 1) There are no anticipated unsafe/unhealthy conditions being created via filling this lot as shown, or construction of a new residence on said fill.
- 2) During construction, erosion control measures will be implemented as shown on the proposed plans. Contractor is required to adjust any measures to deal with unforeseen circumstances until the site is stabilized.
- 3) Every attempt is being made to comply with local floodplain ordinances. As the plan as shown, adds volume to FEMA's mapped floodplain, no adverse alteration to the surface water drainage will occur.
- 4) Erosion potential of the site will be minimized with implementation of the Erosion Control Plan as shown. Slopes are kept as flat as possible, and filling is kept to a minimum to allow for future home construction. Once the site is fully stabilized, temporary erosion control measures can be removed.
- 5) No new access roads required, as this platted residential lot fronts on developed 6th street.
- 6) Various changes in FEMA flood plain mapping have impacted this platted residential lot. This lot could not be developed with a new home (similar to surrounding homes) without adding fill to elevate the home, and remove part of the lot from the surveyed flood plain. Note that **no fill is being placed within FEMA's mapped floodzone.**
- 7) Town of Union zoning shows the platted lot is Rural Residential. With the exception of the westerly floodway, the planned lot development is consistent with its surroundings.
- 8) A separate POWTS approval will be required in order to obtain an occupancy permit.
- 9) A) This lot was created and approved for residential use.
B) The lot will be consistent with surrounding residential uses. No increases in pollutants are anticipated.
C) The location of this lot is within an established residential community.

Yours truly,

Combs & Associates, Inc

Adam F. Griffin, P.E., P.L.S.

**Annexation Agreement with R&K and Sons Construction and the
City of Evansville, Rock County, Wisconsin**

THIS AGREEMENT is entered into between the City of Evansville (City), a Wisconsin municipal corporation, and R&K and Sons Construction (Developer), regarding annexation of the following described lands (subject property):

LOT 11 AND PART OF SOUTH SIXTH STEEET, SOUTH GATE ESTATES AND LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 33, T.4N., R.10E., OF THE 4TH P.M., TOWN OF UNION, ROCK COUNTY, WISCONSIN.

DESCRIBED AS FOLLOWS: Commencing at the East 1/4 of said Section; thence N89°27'20"W along the South Line of the NE 1/4 of said Section, 2648.55 feet to the Center of said Section; thence N0°03'27"E 335.21 feet to the SW Corner of said Lot 11, also being at the place of beginning for the land to be herein described; thence N0°01'05"E 255.0 feet to the NW Corner of said Lot 11; thence S89°27'23"E along the North Line of said Lot and it's Easterly extension, 259.97 feet to the East Line of said South Sixth Street; thence Southwesterly along a curve to the right, along said East Line, 67.70 feet, having a radius of 290.0 feet and a chord hearing S7°43'05"W 67.54 feet; thence N89°27'23"W along a jog in said East Line, 2.57 feet; thence S14°24'21"W continuing along said East Line, 101.23 feet; thence Southerly, continuing along said East Line, along a curve to the left, 52.46 feet, having a radius of 212.50 feet and a chord bearing S7°19'59.5W 52.33 feet; thence S0°15'38"W continuing along said East Line 37.73 feet to the SW Corner of Lot 10 of said South Gate Estates; thence N89°27'23"W along the Easterly extension of the South Line of said Lot 11 and along said South Line of said Lot 11, a distance of 216.37 feet to the place of beginning.

WHEREAS, the Developer wishes to annex the subject property into the City;

NOW, THEREFORE, the parties agree that this agreement is binding on the Developer and all successors in interest as follows:

1. The Developer agrees to pay for the actual amount of \$597.30 in taxes that are to be paid to the Town of Union over the next five year period as provided for in 66.0217(14)(a) of the Wisconsin Statutes. The Developer shall pay the \$597.30 in a lump sum upon annexation into the City.
2. Within one year of annexation, the Developer agrees to connect to the City's sanitary sewer system.
3. Within two months of connecting to the City's sanitary sewer system, the Developer agrees to abandon any existing septic systems consistent with the requirements of SPS 383.33 of Wisconsin Administrative Code, and other state and federal laws that may apply.

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4. The Developer agrees to pay for the costs of sewer extension to serve the property, with the sewer being extended north from the existing terminus to the southernmost edge of the property or distance approved by City Engineer. The sewer extension must be within the South Sixth Street right-of-way. Capped wye connections must also be constructed with the new sewer for future service at each of the existing parcels along the east side of US Highway 14 between the existing terminus and the southwest corner of the property. City Engineer, staff and State of WI shall approve all engineering design for the sewer extension prior to construction.
 5. Upon completion of construction of any residential buildings, but no later than 5 years from date of annexation, three street trees shall be added. Additionally curb and gutter and sidewalk shall be built to city standards the entire length of the lot.
 6. A City inspector shall witness the construction and testing of the sewer extension. Such inspection and testing will be at the Developer's expense. Once the sewer has been approved by the City's inspector, the City of Evansville will assume ownership of the sewer.
 7. Within one year of annexation or upon completion of construction of any residential buildings, the Developer agrees to connect to the City's water system.
 8. Within two months of connecting to the City's water system, the Developer agrees to remove from service and seal any existing wells, as per NR 812.26 of Wisconsin Administrative Code.
 9. The Developer agrees to pay for the costs of water extension to serve the property, with the water being extended north from the existing terminus to the southernmost edge of the property or distance approved by City Engineer. The water extension must be within the South Sixth Street right-of-way. City Engineer and State of WI shall approve all engineering design for the water extension prior to construction.
 10. The Developer agrees to reimburse the City for any costs incurred by the City for engineering, inspection, planning, legal, and administrative expenses in connection with this annexation and development.

IN WITNESS THEREOF, the parties have executed this Agreement on the ____ day of ____, 2018.

City of Evansville

Developer

William C. Hurlley, Mayor

Ralph Crull, R&K and Sons

ATTEST: _____

Judy L. Walton, City Clerk/Treasurer